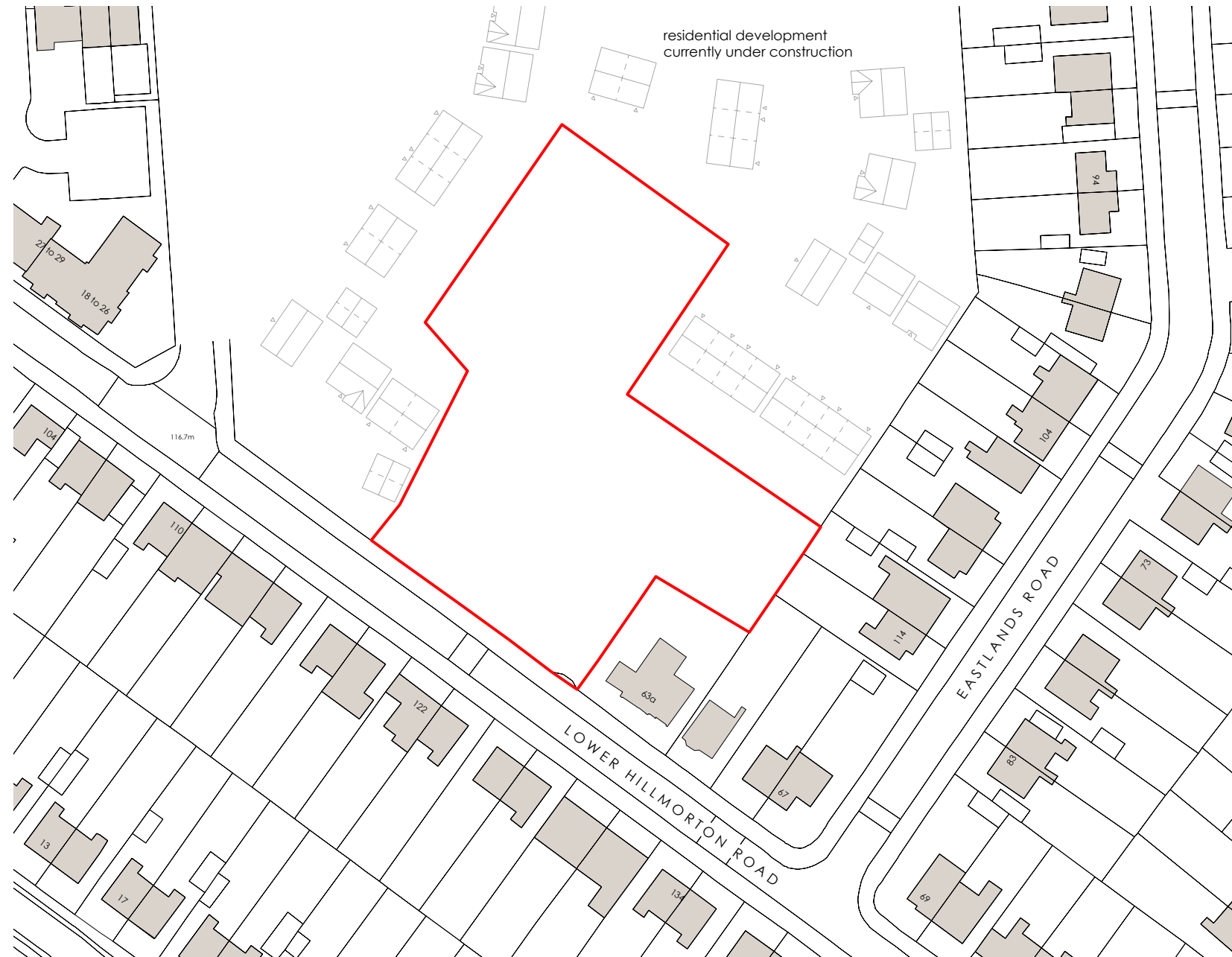


REVISION	DATE	DESCRIPTION
-	11.11.16	Planning Issue.



**Key**

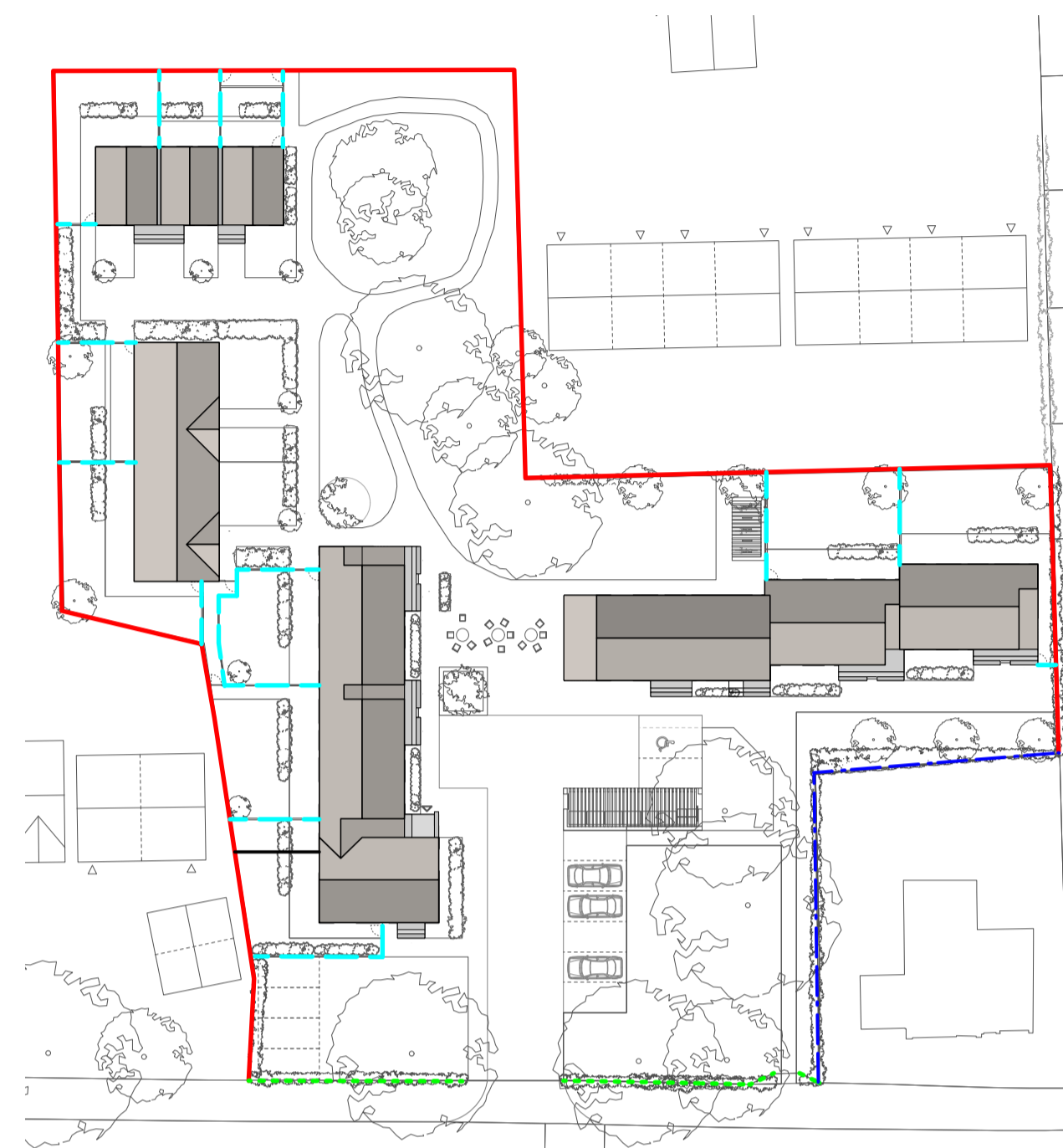
— Site Boundary

PLANNING ISSUE  
**Location Plan**  
 1:1000

31, Blackfriars Road, Salford, Manchester M3 7AQ  
 t 44(0)161 832 3242  
 f 44(0)161 832 3623  
 e info@omiarchitects.com  
 w www.omiarchitects.com

PROJECT	Lower Hillmorton Road, Rugby			
DRAWING	Location Plan			
DATE	Mar '16	DRAWN BY	JM	SCALE 1:1000@A3
JOB NO.	1366	DWG.NO.	L 0001	

REVISION	DATE	DESCRIPTION
-	11.11.16	Planning Issue.
A	10.03.17	Planning Amendments



**Proposed Boundary Treatments Plan**  
1:500 @ A1 / 1:1000 @ A3

- Key:**
- 2.1m high close boarded fence
  - 1.8m high close boarded fence
  - 1.5m high close boarded fence with existing hedge retained
  - 1.0m high railings with new planted hedge

- Existing trees to be retained
- Proposed trees to be planted

**AMENDED**  
Received 09/03/2017

PLANNING ISSUE

**Proposed Site Plan**  
1:250 @ A1 / 1:500 @ A3

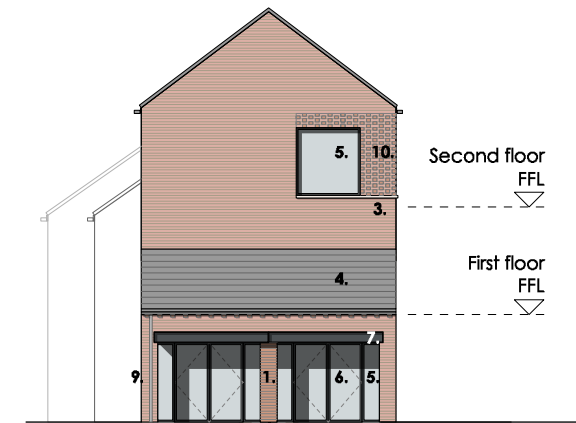
**OMI ARCHITECTS**  
31, Blackfriers Road, Salford, Manchester M3 7AG  
t 44(0)161 832 3242  
f 44(0)161 832 3623  
e info@omiarchitects.com  
w www.omiarchitects.com

PROJECT	Lower Hillmorton Road, Rugby				
DRAWING	Proposed Site Plan				
DATE	Mar '16	DRAWN BY	JM	SCALE	1:250@A1
JOB NO.	1366	DWG. NO.	L 1000A		

REVISION	DATE	DESCRIPTION
-	11.11.16	Planning Issue.
A	02.12.16	Side Elevation 4 added.



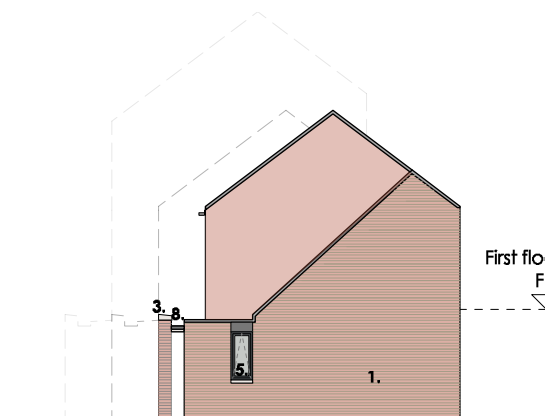
**Front Elevation 1**  
1:200



**Side Elevation 2**  
1:200



**Rear Elevation 3**  
1:200



**Side Elevation 4**  
1:200

o Denotes obscure glazing

**Materials Key:**

- 1. Facing Brick - Type 1 (to Local Authority Approval)
- 2. Facing Brick - Type 2 (to Local Authority Approval)
- 3. Reconstituted Wet Cast Stone Cills & Copings
- 4. Interlocking Concrete Slate Roof Tiles
- 5. Composite Aluminium & Timber Windows
- 6. Secured by Design Accredited Doorset & Glazed Side Panel
- 7. Galvanised & Painted Steel Lintel
- 8. Dark Grey Single-Ply Membrane to Entrance Porch Roof
- 9. Dark Grey uPVC Rainwater Goods
- 10. Decorative Brickwork Detail

PLANNING ISSUE

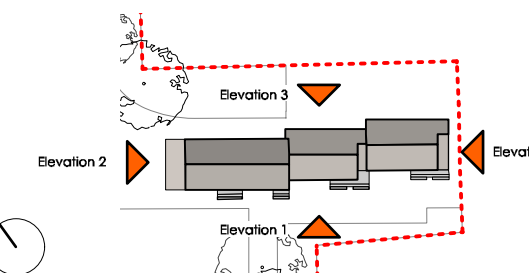
**Proposed 2/3 Storey Apartment Elevations**

1:200

**OMI ARCHITECTS**

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**Proposed Block Plan with Key**  
1:1000

PROJECT	Lower Hillmorton Road, Rugby		
DRAWING	Proposed 2/3 Storey Apartment Elevations		
DATE	NOV '16	DRAWN BY	JM SCALE 1:200 @ A3
JOB NO.	1366	DWG.NO.	L 1603 A



REVISION	DATE	DESCRIPTION
-	11.11.16	Planning Issue.
A	02.12.16	Side Elevation added.



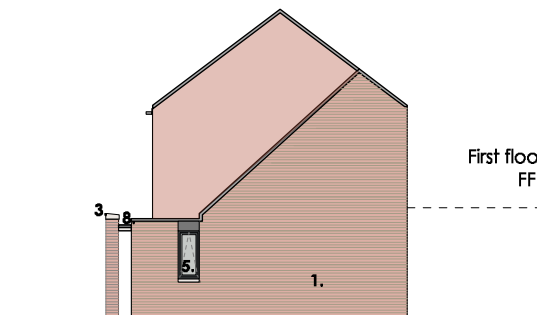
**Front Elevation 1**  
1:200



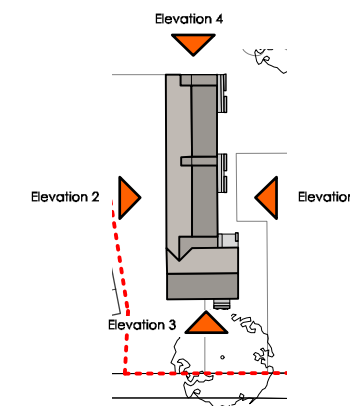
**Side Elevation 3**  
1:200



**Rear Elevation 2**  
1:200



**Side Elevation 4**  
1:200



**Proposed Block Plan with Key**  
1:1000

o Denotes obscure glazing

**Materials Key:**

- 1. Facing Brick - Type 1 (to Local Authority Approval)
- 2. Facing Brick - Type 2 (to Local Authority Approval)
- 3. Reconstituted Wet Cast Stone Cills & Copings
- 4. Interlocking Concrete Slate Roof Tiles
- 5. Composite Aluminium & Timber Windows
- 6. Secured by Design Accredited Doorset & Glazed Side Panel)
- 7. Galvanised & Painted Steel Lintel
- 8. Dark Grey Single-Ply Membrane to Entrance Porch Roof
- 9. Dark Grey uPVC Rainwater Goods
- 10. Decorative Brickwork Detail

PLANNING ISSUE

**Proposed 2/3 Storey Apartment Elevations**

1:200



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e info@omiarchitects.com  
w www.omiarchitects.com

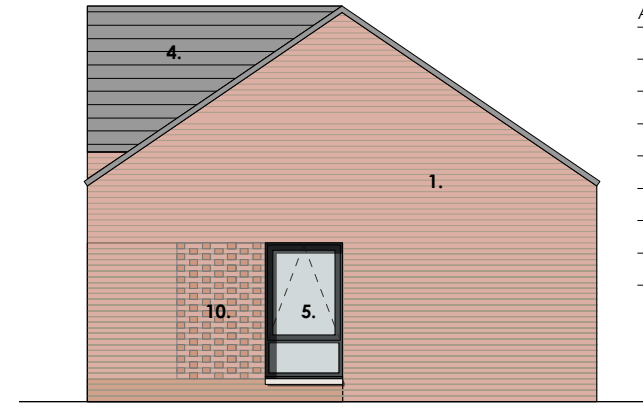
PROJECT	Lower Hillmorton Road, Rugby		
DRAWING	Proposed 2 Storey Apartment Elevations		
DATE	Mar '16	DRAWN BY	JM SCALE 1:200 @ A3
JOB NO.	1366	DWG.NO.	L 1604 A



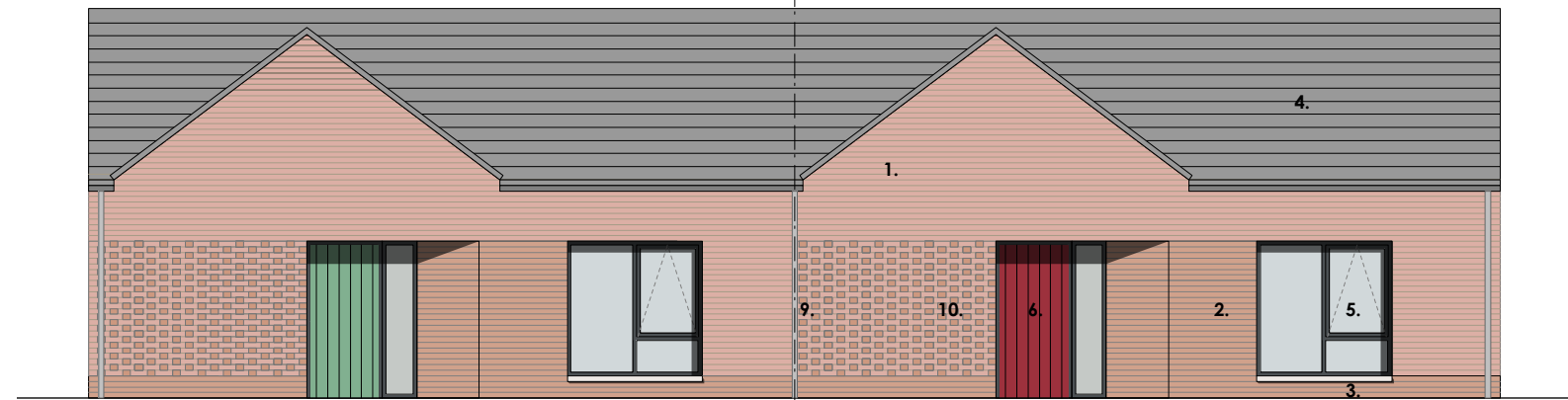
REVISION	DATE	DESCRIPTION
-	11.11.16	Planning Issue.
A	10.03.17	Planning Amendments



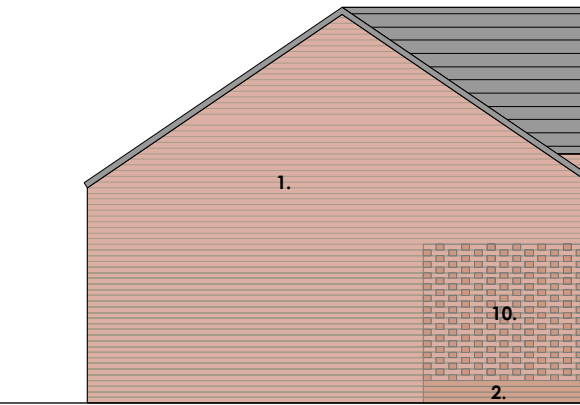
**Rear Elevation**  
1:100



**Side Elevation - Plot 14**  
1:100



**Front Elevation**  
1:100



**Side Elevation - Plot 13**  
1:100

**AMENDED**

Received 09/03/2017

**Materials Key:**

1. Facing Brick - Type 1 (to Local Authority Approval)
2. Facing Brick - Type 2 (to Local Authority Approval)
3. Reconstituted Wet Cast Stone Cills & Copings
4. Interlocking Concrete Slate Roof Tiles
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7. Galvanised & Painted Steel Lintel
8. Dark Grey Single-Ply Membrane to Entrance Porch Roof
9. Dark Grey uPVC Rainwater Goods
10. Decorative Brickwork Detail

**PLANNING ISSUE**

**Proposed 1B Bungalow**

Gross Internal Floor Area 53.1 sq.m  
1:100 @ A3

**OMI ARCHITECTS**

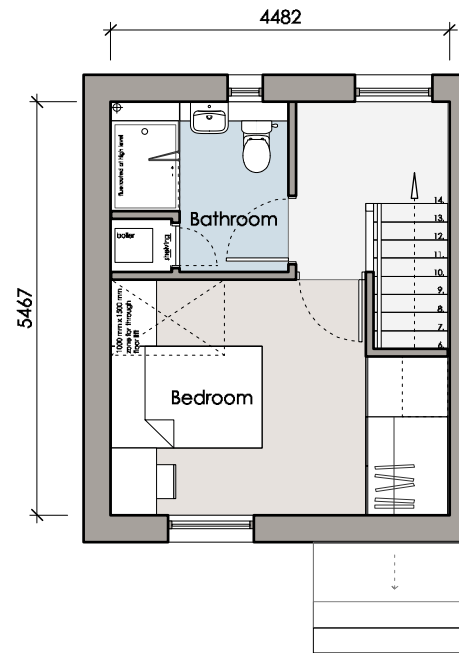
31, Blackfriars Road, Salford, Manchester M3 7AQ  
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f 44(0)161 832 3623  
e info@omiarchitects.com  
w www.omiarchitects.com



**Ground Floor Plan**  
1:100  
Gross Internal Floor Area 53.1 sq.m

PROJECT	Lower Hillmorton Road, Rugby			
DRAWING	Proposed 1B Bungalow Plans & Elevations			
DATE	Apr '16	DRAWN BY	MI	SCALE 1:100 @ A3
JOB NO.	1366	DWG.NO.	L 1052	

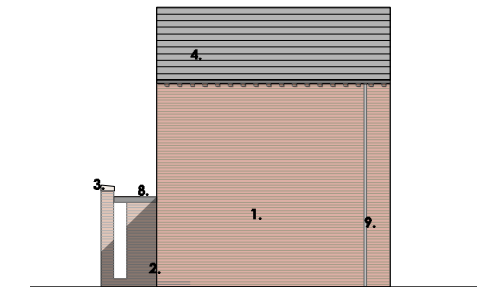
REVISION	DATE	DESCRIPTION
-	11.11.16	Planning Issue.
A	02.12.16	Side Elevations added.
B	10.03.17	Planning Amendments



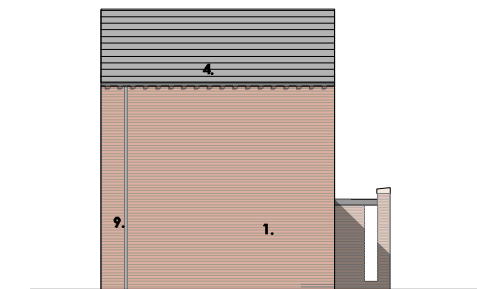
**First Floor Plan**  
1:100  
Gross Internal Floor Area 24.2 sq.m



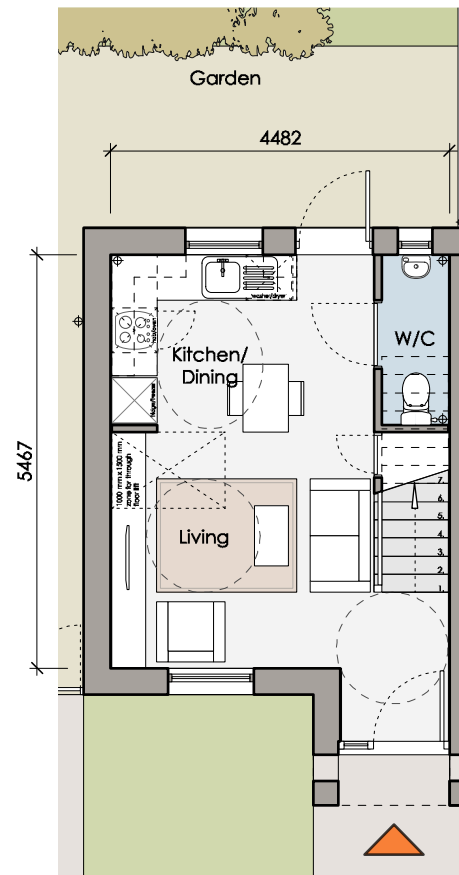
**Rear Elevation**  
1:100



**Side Elevation**  
1:200



**Side Elevation**  
1:200



**Ground Floor Plan**  
1:100  
Gross Internal Floor Area 25.9 sq.m



**Front Elevation**  
1:100

- Materials Key:**
1. Facing Brick - Type 1 (to Local Authority Approval)
  2. Facing Brick - Type 2 (to Local Authority Approval)
  3. Reconstituted Wet Cast Stone Cills & Copings
  4. Interlocking Concrete Slate Roof Tiles
  5. Composite Aluminium & Timber Windows
  6. Secured by Design Accredited Doorset & Glazed Side Panel
  7. Galvanised & Painted Steel Lintel
  8. Dark Grey Single-Ply Membrane to Entrance Porch Roof
  9. Dark Grey uPVC Rainwater Goods
  10. Decorative Brickwork Detail

**AMENDED**

PLANNING ISSUE

**Proposed 1B Townhouse**

Gross Internal Floor Area 50.1 sq.m  
1:100 @ A3



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w www.omiarchitects.com

PROJECT	Lower Hillmorton Road, Rugby			
DRAWING	Proposed 1B Townhouse Plans & Elevations			
DATE	Apr '16	DRAWN BY	MI	SCALE 1:100 @ A3
JOB NO.	1366	DWG.NO.	L 1051B	

Received 09/03/2017

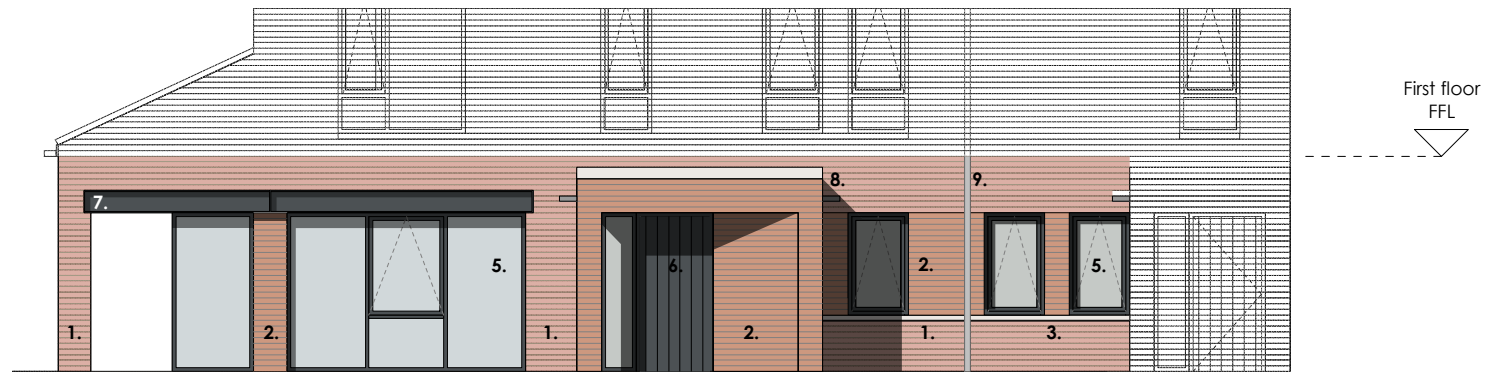


**Rear Elevation**  
1:100

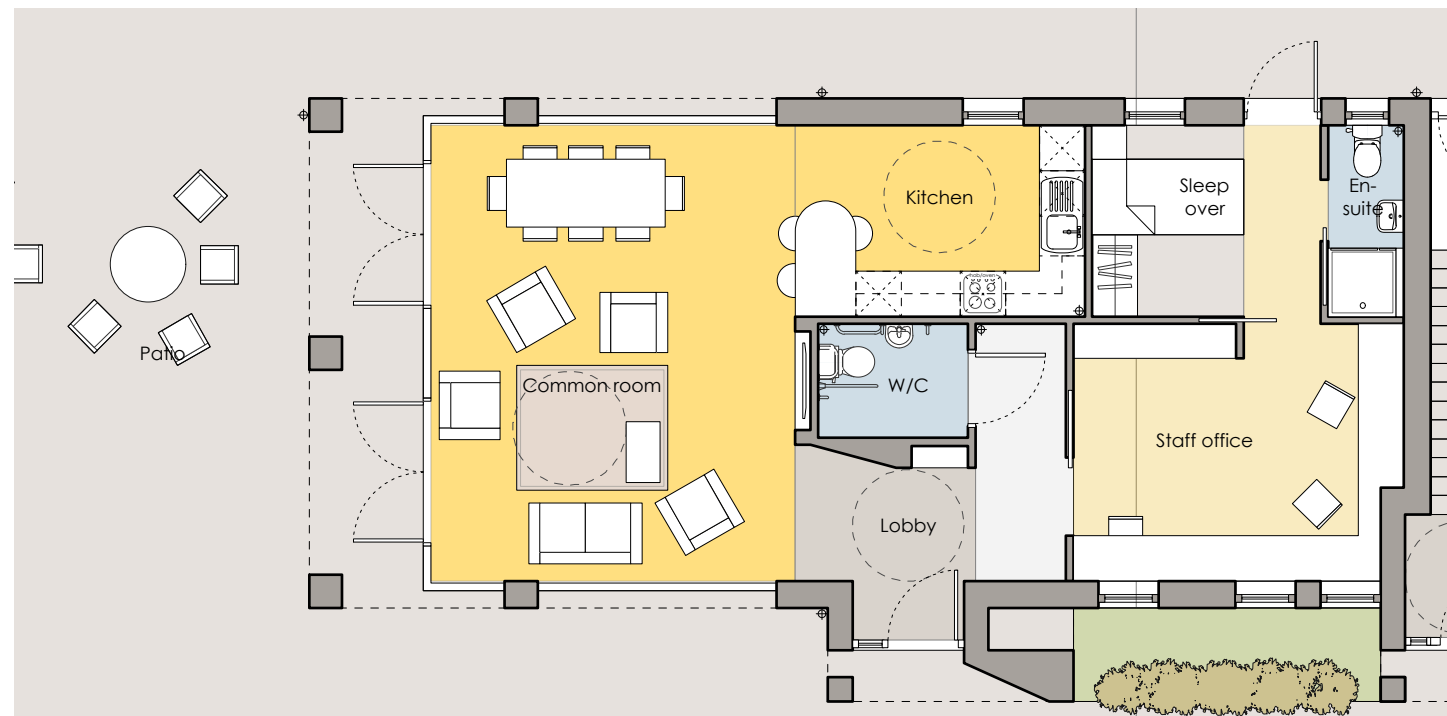
REVISION	DATE	DESCRIPTION
-	11.11.16	Planning Issue.



**Side Elevation**  
1:100



**Front Elevation**  
1:100



**Ground Floor Plan**  
1:100

**Materials Key:**

1. Facing Brick - Type 1 (to Local Authority Approval)
2. Facing Brick - Type 2 (to Local Authority Approval)
3. Reconstituted Wet Cast Stone Cills & Copings
4. Interlocking Concrete Slate Roof Tiles
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9. Dark Grey uPVC Rainwater Goods
10. Decorative Brickwork Detail

**PLANNING ISSUE**  
**Proposed Common Room & Staff Office**

1:100 @ A3



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 t 44(0)161 832 3242  
 f 44(0)161 832 3623  
 e info@omiarchitects.com  
 w www.omiarchitects.com

PROJECT	Lower Hillmorton Road, Rugby				
DRAWING	Proposed Common Room & Staff Office Plans & Elevations				
DATE	Apr '16	DRAWN BY	MI	SCALE	1:100 @ A3
JOB NO.	1366	DWG. NO.	L 1054		





09/12/2016 09:35





09/12/2016 09:35

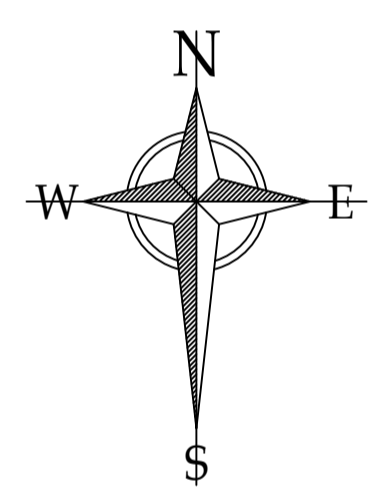




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REV	DESCRIPTION	DATE	AUTHOR	CHK'D



**PLANNING**

**architects**  
Romsey Office

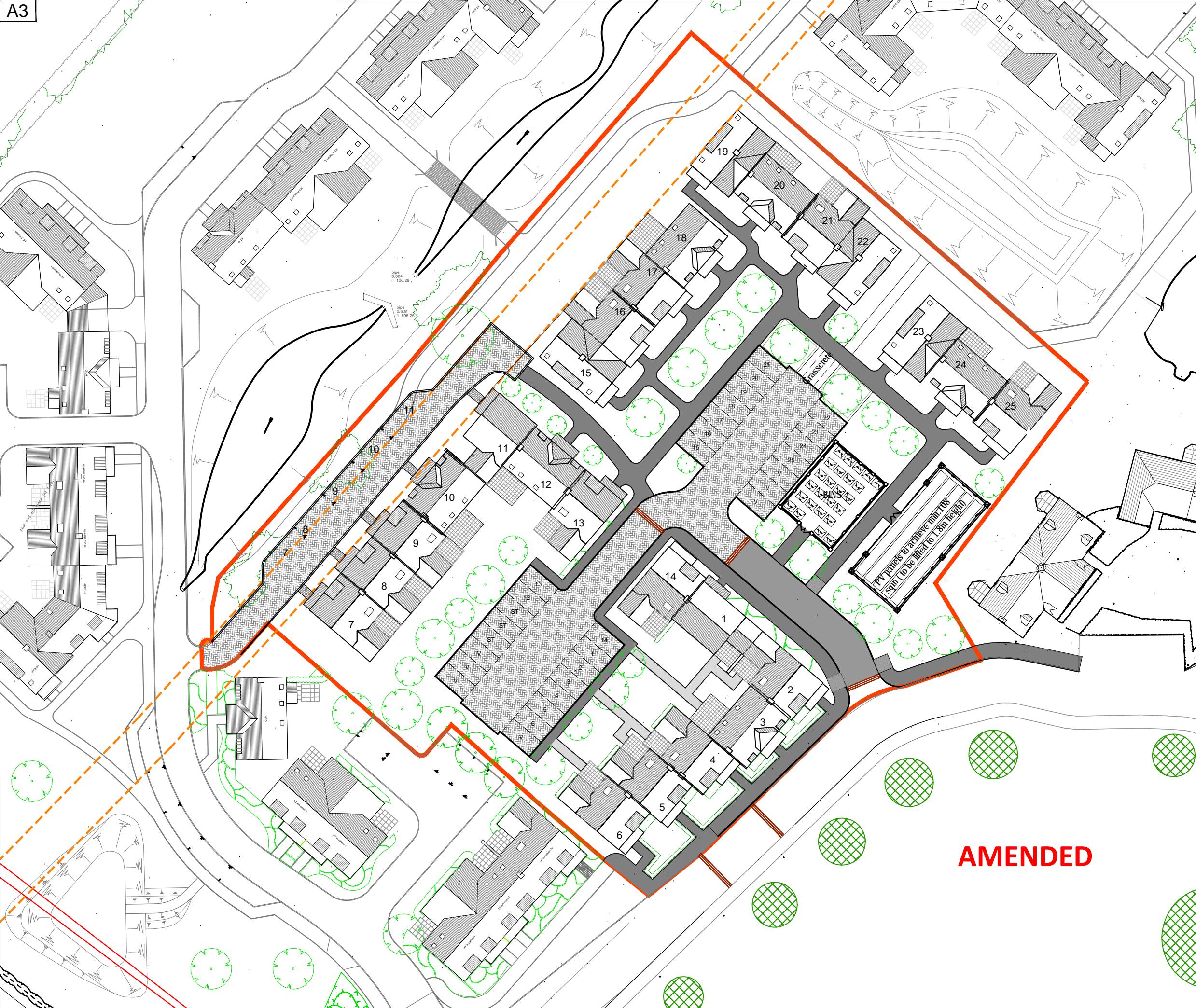
Building 300, The Grange, Romsey Road, Michelmersh, SO51 0AE  
 t: 01794 367703 f: 01794 367276 www.thrivearchitects.co.uk

PROJECT  
**Lime Tree Village - Phase 4D**  
 Thurlaston Drive, Dunchurch  
 For: Retirement Villages Ltd

DRAWING  
**Location Plan**

SCALE	DATE	AUTHOR	CHK'D
1:1250@ A1	19.06.16	DS	
JOB NO.	DRAWING NO.	REV	
RETI150205	LP.01		
CLIENT REF.			





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REV	DESCRIPTION	DATE	AUTH	CHK'D
A	Status amended to Planning.	03/10/16	VJ	-
B	Layout amended to suit client and planners comments.	10/11/16	VJ	-
C	Footpaths to the rear of Plots 1-6 added from carpark to suit Planners comments.	11/11/16	VJ	-
D	Parking to Plot 7 moved.	15/11/16	VN	-
E	Gate removed	24/01/17	VN	-

- KEY:**
- Property Boundary Line - Ref Boundary Materials
  - Layout and details for detailed specification
  - Metal Railings Line - Ref Boundary Materials Layout and details for detailed specification
  - Boundary Walling - Ref Boundary Materials Layout and details for detailed specification
  - Easement



**PLANNING**



architects

Romsey Office

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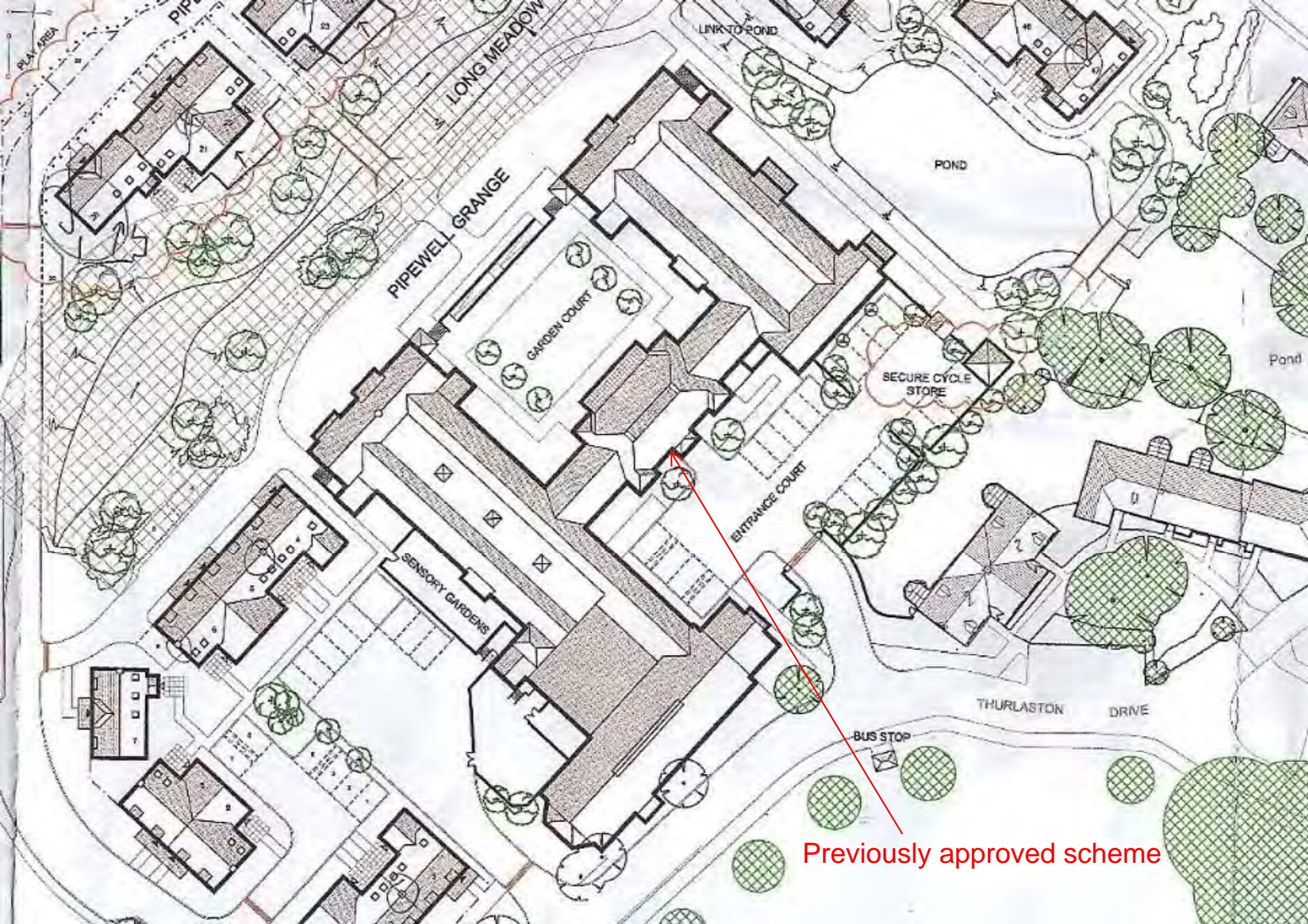
**PROJECT**  
 Lime Tree Village, Phase 4D  
 Thurlaston drive, Dunchurch  
 for Retirement Villages Development Ltd.

**DRAWING**  
 Proposed Site Layout  
 Courtyard Cottages

**AMENDED**

SCALE	DATE	AUTHOR	CHK'D
1:500 @ A3	April 2016	VJ	-
JOB NO.	DRAWING NO.	REV	
RET1150205	SL.09	E	
CLIENT REF.			





PIPEWELL GRANGE

LONG MEADOW

LINK TO POND

POND

Pond

SECURE CYCLE STORE

ENTRANCE COURT

SENSORY GARDENS

THURLASTON DRIVE

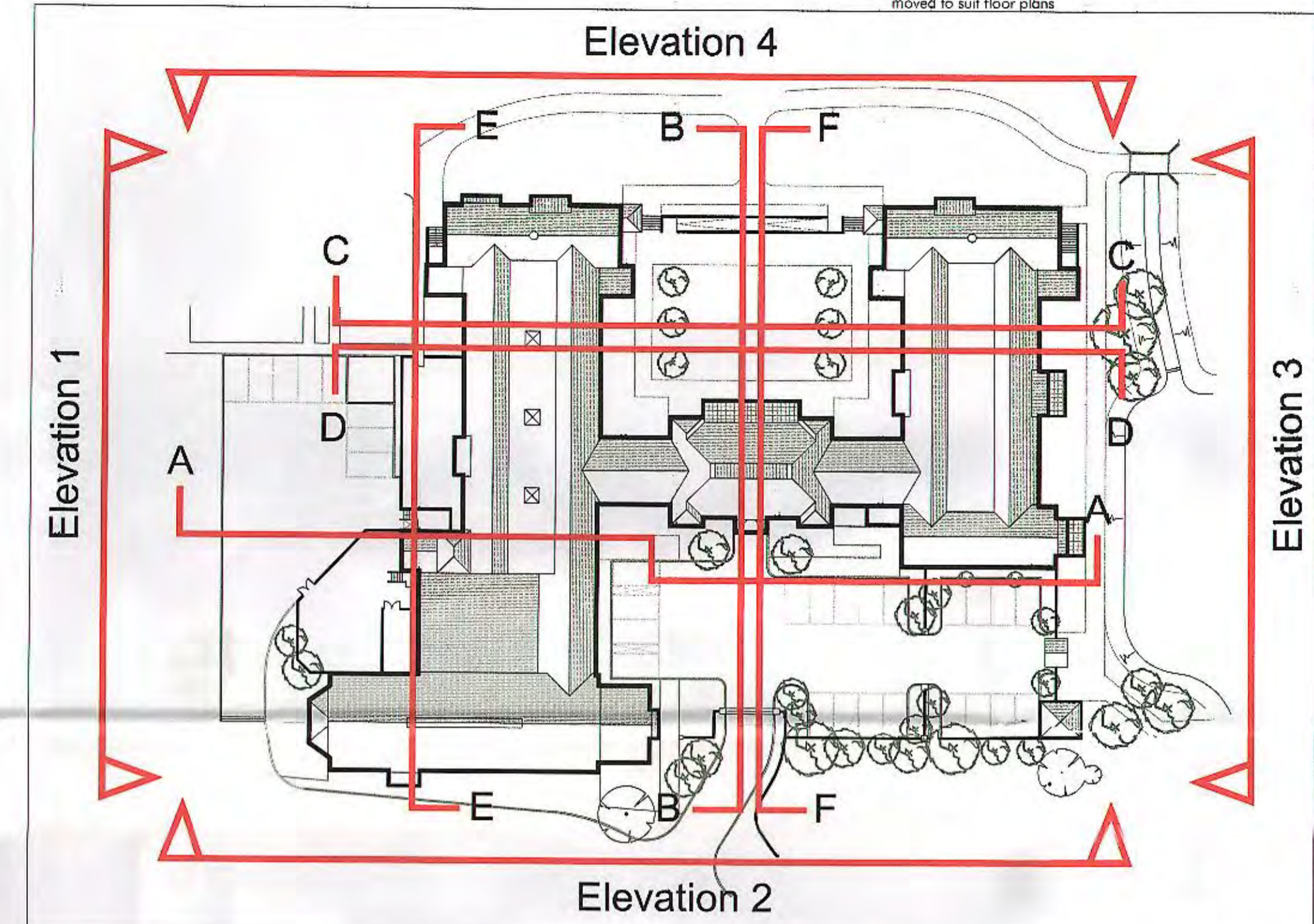
BUS STOP

Previously approved scheme





Elevation 1



Elevation 2

PREVIOUSLY APPROVED SCHEME



Elevation 3

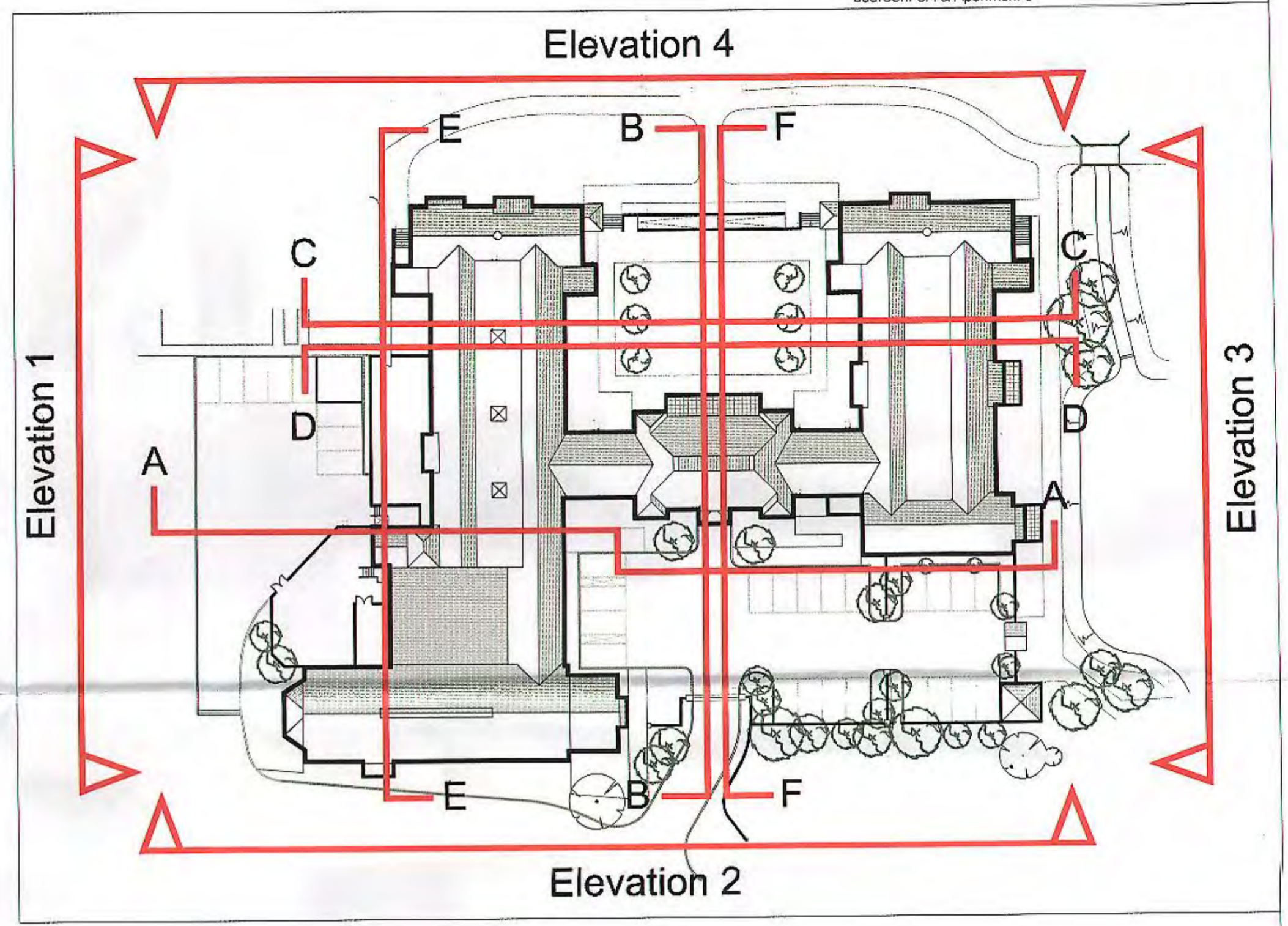


Elevation 4

RUGBY DISTRICT COUNCIL  
 Planning Committee  
 09 NOV 2009  
 Date: 09 NOV 2009  
 Refer to: For:



PREVIOUSLY APPROVED SCHEME



Sectional Elevations A - A



Sectional Elevations B - B



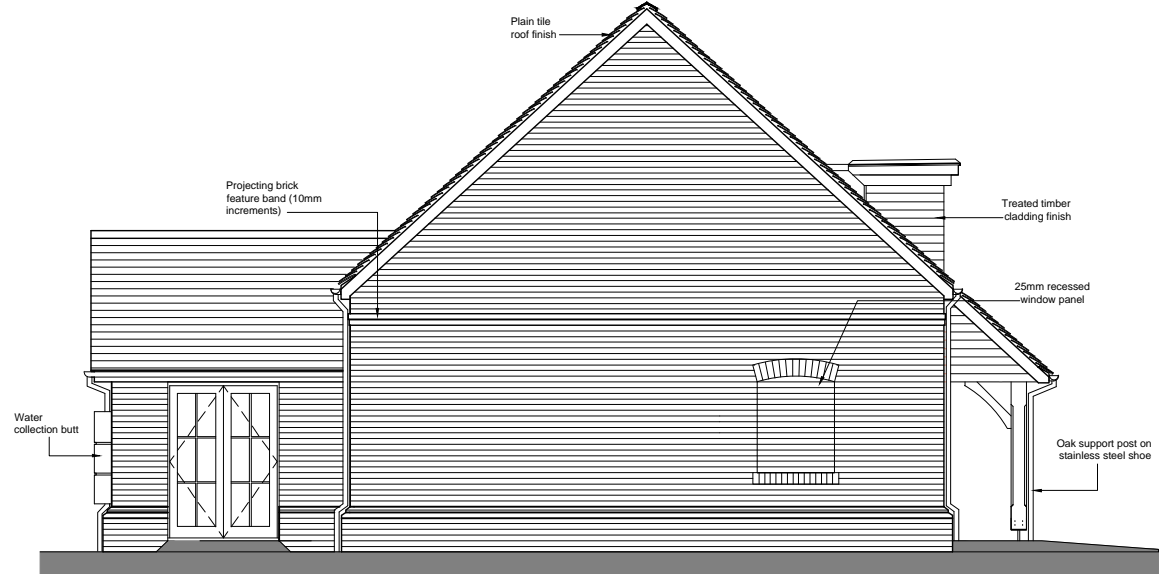
Sectional Elevations C - C

PROJECT APPROVED FOR CONSTRUCTION  
 DATE: 09 NOV 2009  
 PREPARED BY: [Signature]





Front Elevation



Side Elevation

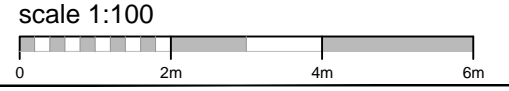


Rear Elevation

Example of Extra Care Cottages

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REV	DESCRIPTION	DATE	AUTH	CHK'D
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**PLANNING**



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 t: 01794 367703

PROJECT  
**Retirement Villages**  
 Standard House Types  
 Reduced Area

DRAWING  
**Beaufort (Variation A)**  
 Elevations  
 Front, Side and Rear

SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	03/06/16	AM	VN

JOB NO.	DRAWING NO.	REV
-	HT.BEAU_A.e	

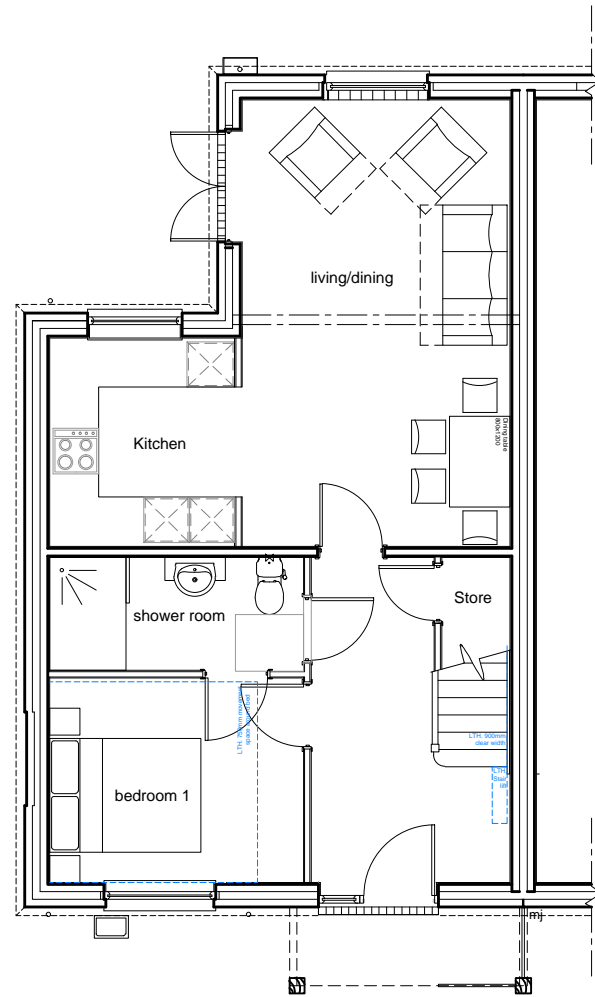
CLIENT REF.  
 -

Housetype	<b>BEAU</b>	Variation	<b>A</b>	PLOT No. As Drawn - 04,05,06,07,08,09,13,14,16,17,21,25 Handed -
Bedrooms	<b>2</b>	Persons	<b>4</b>	
Sq.ft finish	<b>986</b>	Sq.m finish	<b>91.58</b>	

NOTES

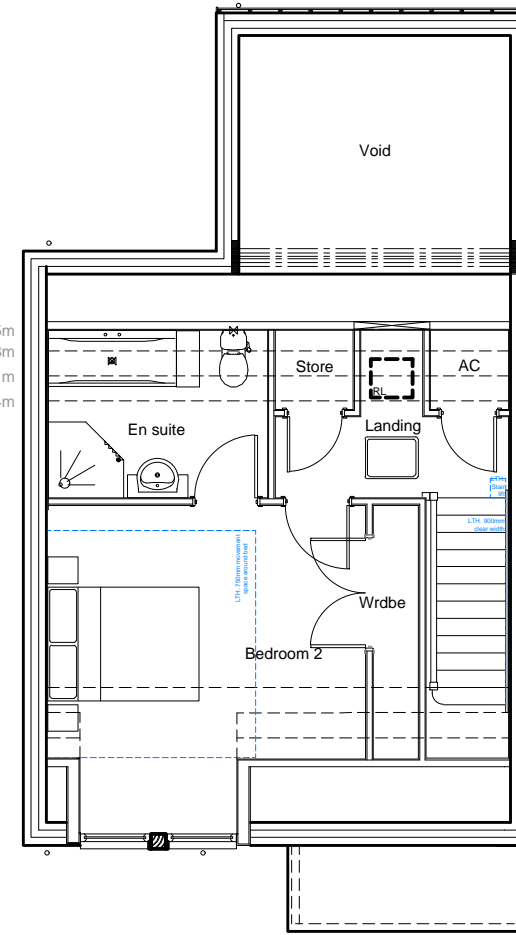
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REV	DESCRIPTION	DATE	AUTH	CHK'D
-----	-------------	------	------	-------



Ground Floor Plan

Head Height 1.5m  
 Head Height 1.8m  
 Head Height 2.1m  
 Head Height 2.4m



First Floor Plan

scale 1:100



PLANNING



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PROJECT

Retirement Villages

Standard House Types

Reduced Area

DRAWING

Beaufort (Variation A)

Floor Plans

Ground and First Floors

SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	03/06/16	AM	VN

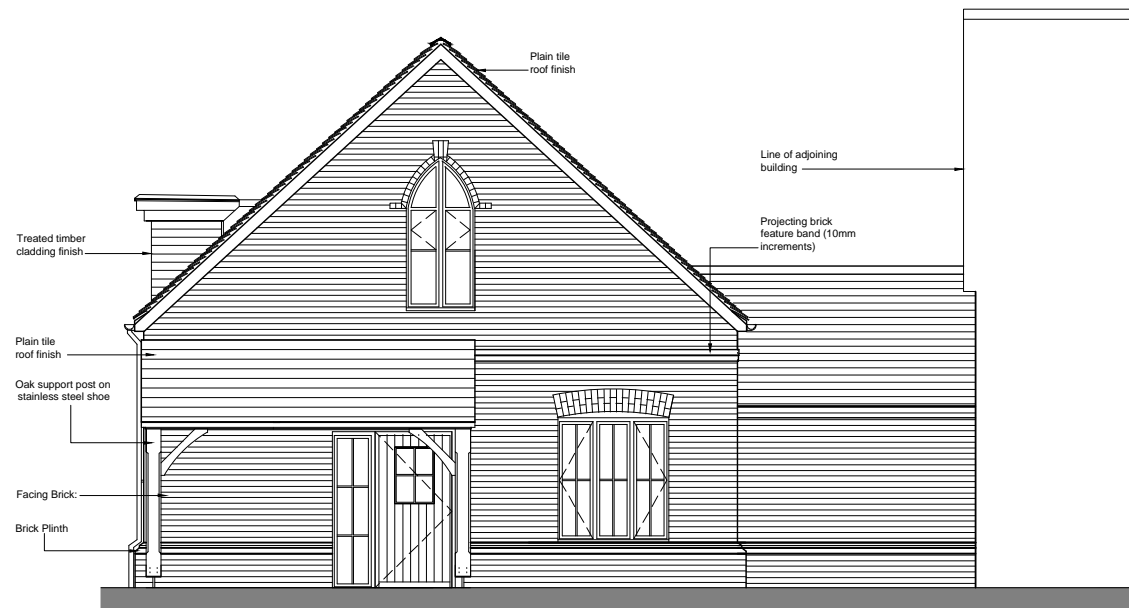
JOB NO.	DRAWING NO.	REV
-	HT.BEAU_A.p	

CLIENT REF.
-

Housetype[]	<b>BEAU</b>	Variation[]	<b>A</b>	PLOT No. As Drawn - 04,05,06,07,08,09,13,14,16,17,21,25 Handed -
Bedrooms[]	<b>2</b>	Persons[]	<b>4</b>	
Sq.ft[] finish[]	<b>986</b>	Sq.m[] finish[]	<b>91.58</b>	

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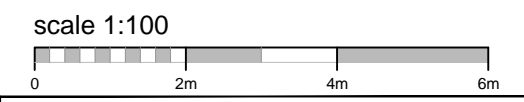
REV	DESCRIPTION	DATE	AUTH	CHK'D
-----	-------------	------	------	-------



Front Elevation



Side Elevation



PLANNING



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PROJECT

Retirement Villages

Standard House Types

Reduced Area

DRAWING

Beaufort (Variation C)

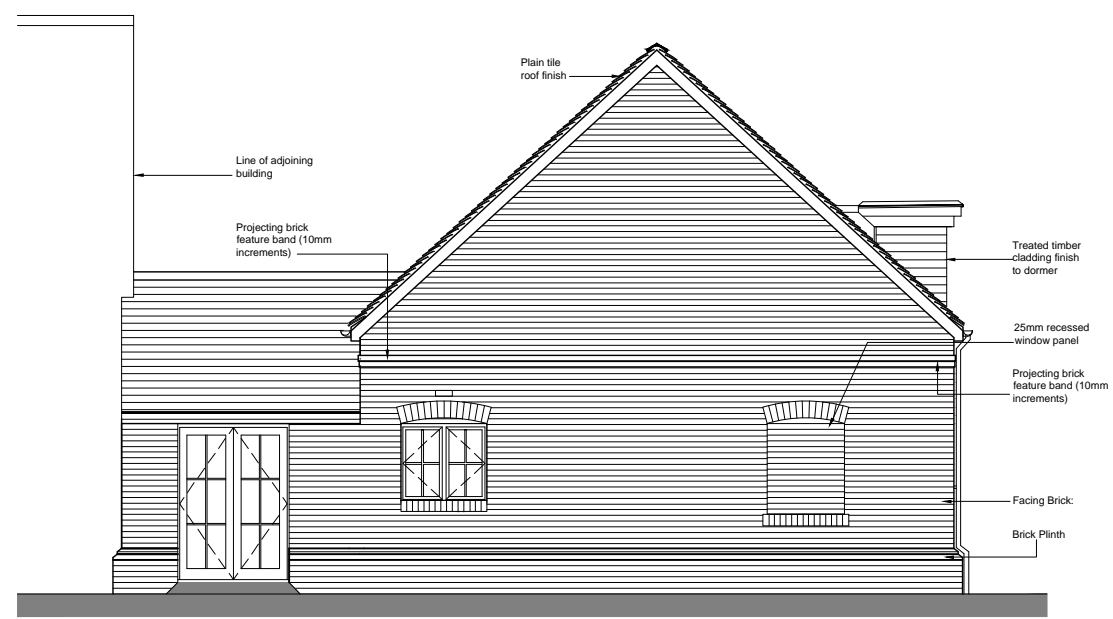
Elevations

Front, Side and Rear

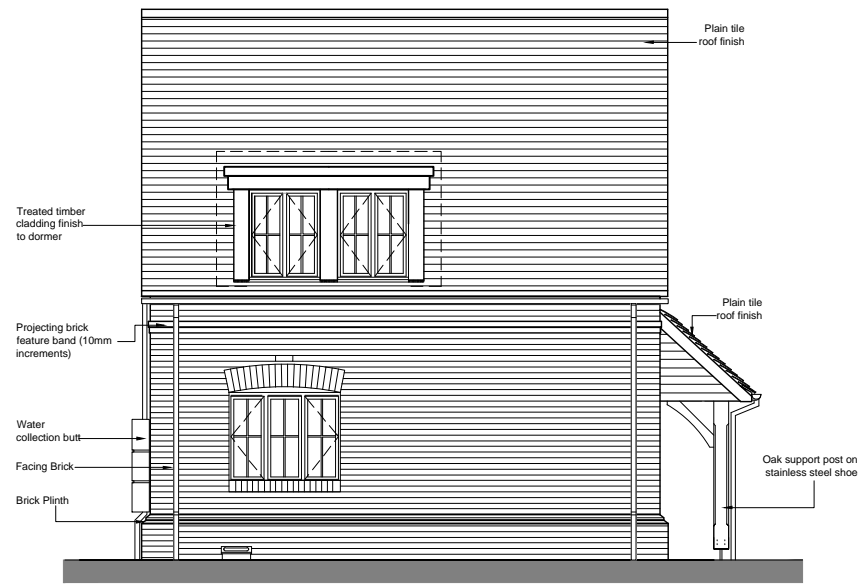
SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	03/06/16	AM	VN

JOB NO.	DRAWING NO.	REV
-	HT.BEAU_c.e	

CLIENT REF.
-



Side Elevation



Side Elevation

Example of Extra Care Cottages

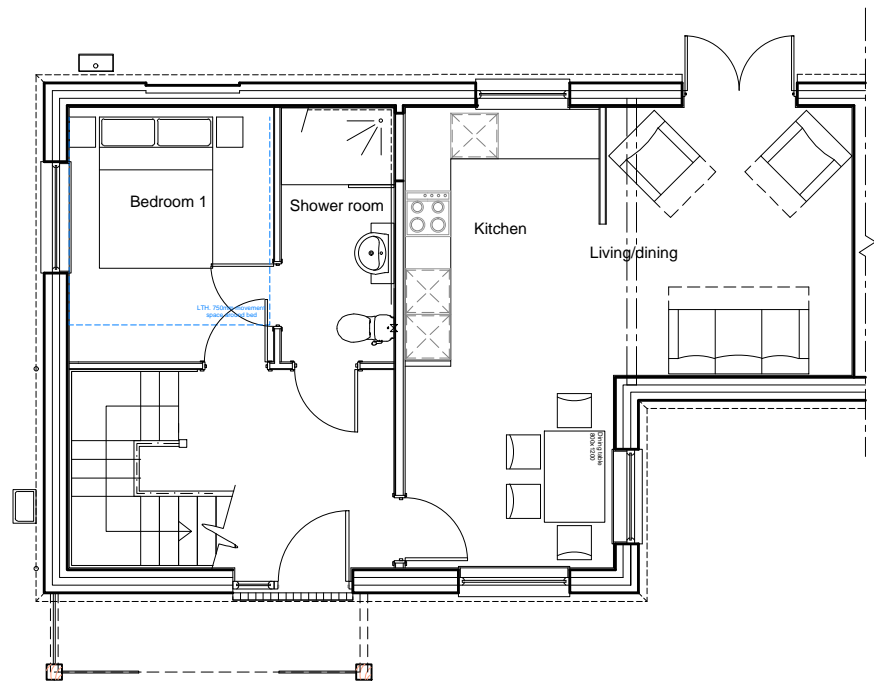
Housetype	<b>BEAU</b>	Variation	<b>C</b>	PLOT No. As Drawn - 01, 11 Handed -
Bedrooms	<b>2</b>	Persons	<b>4</b>	
Sq.ft finish	<b>986</b>	Sq.m finish	<b>91.58</b>	



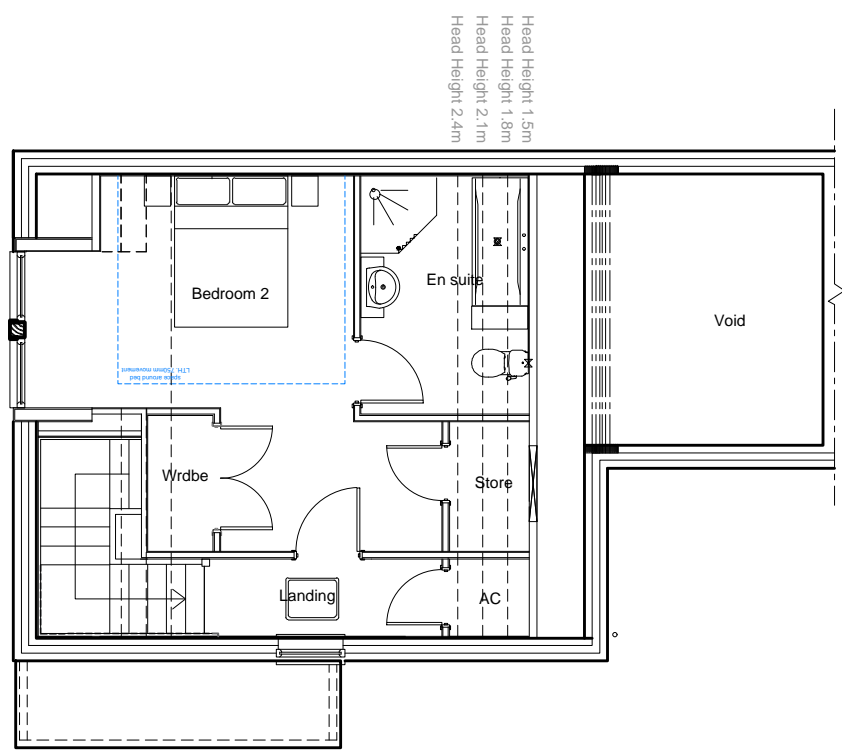
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 Where applicable this drawing is to be read in conjunction with the Consultants' drawings.

REV	DESCRIPTION	DATE	AUTH	CHK'D
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Ground Floor Plan



First Floor Plan

scale 1:100



PLANNING



architects

Romsey Office

Building 300, The Grange, Romsey Road, Romsey, Hampshire, SO51 0AE  
 t: 01794 367703

PROJECT

Retirement Villages

Standard House Types

Reduced Area

DRAWING

Beaufort (Variation C)

Floor Plans

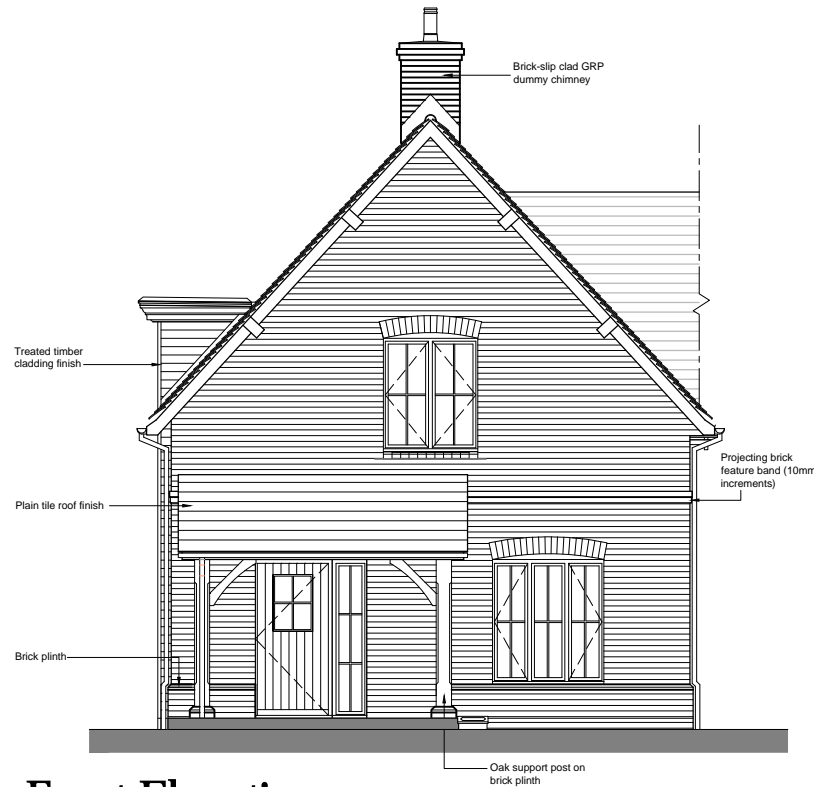
Ground and First

SCALE	DATE	AUTHOR	CHK'D
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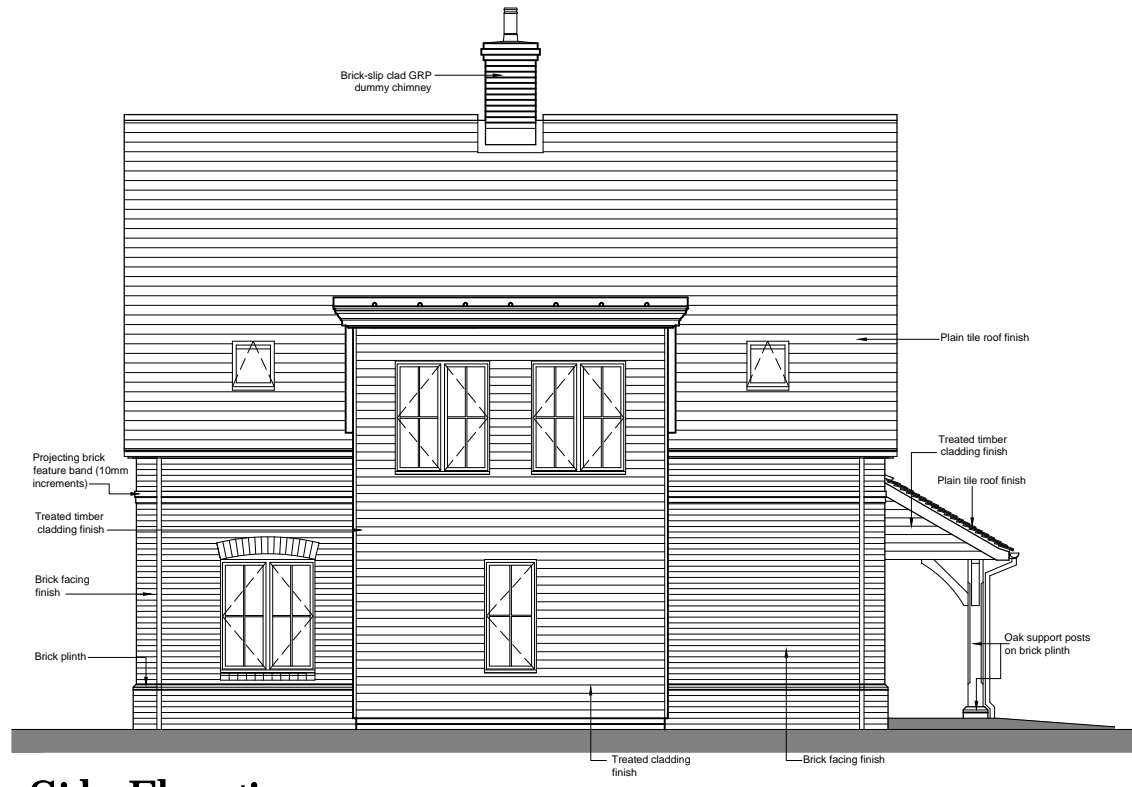
JOB NO.	DRAWING NO.	REV
-	HT.BEAU_c.p	

CLIENT REF.
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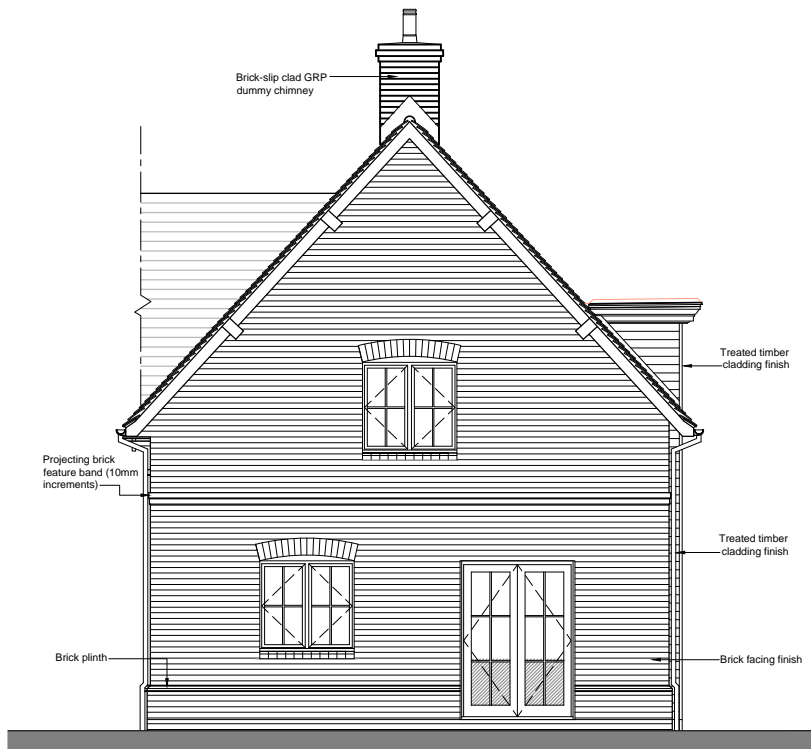
Housetype[]	<b>BEAU</b>	Variation[]	<b>C</b>	PLOT No. As Drawn - 01, 11 Handed -
Bedrooms[]	<b>2</b>	Persons[]	<b>4</b>	
Sq.ft[] finish[]	<b>986</b>	Sq.m[] finish[]	<b>91.58</b>	



Front Elevation



Side Elevation



Rear Elevation

NOTES

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REV	DESCRIPTION	DATE	AUTH	CHK'D
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scale 1:100



PLANNING



architects

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Building 300, The Grange, Romsey Road, Michelmersh, SO51 0AE  
 t: 01794 367703 f: 01794 367276 www.thrivearchitects.co.uk

PROJECT

Retirement Villages

Standard House Types

Reduced Area

DRAWING

Gaurds (Variation A)

Elevations

Front, Side and Rear

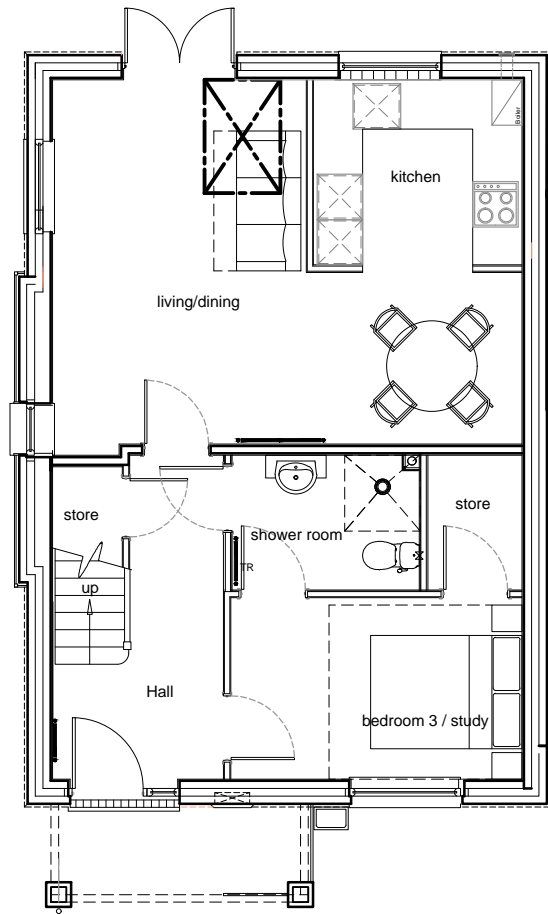
SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	03/06/16	AM	VJ

JOB NO.	DRAWING NO.	REV
-	HT.GAUR_A.e	

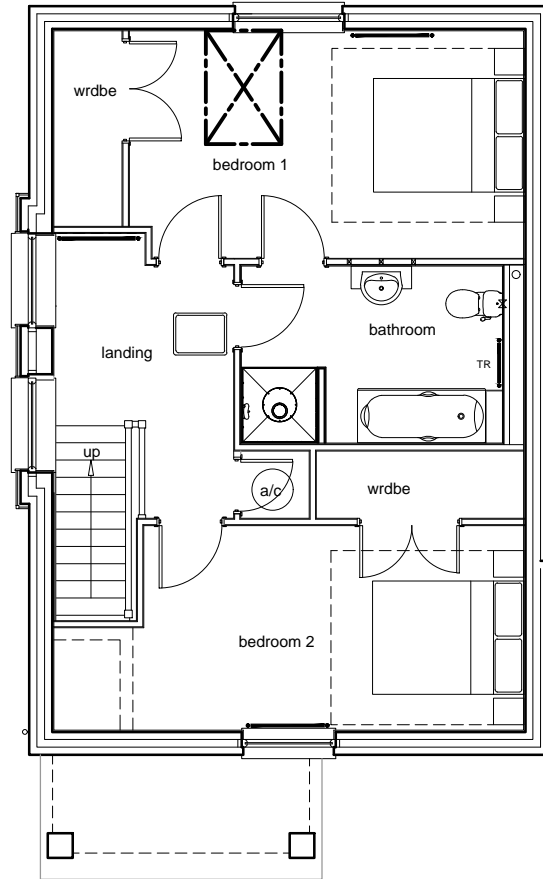
CLIENT REF.
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Example of Extra Care Cottages

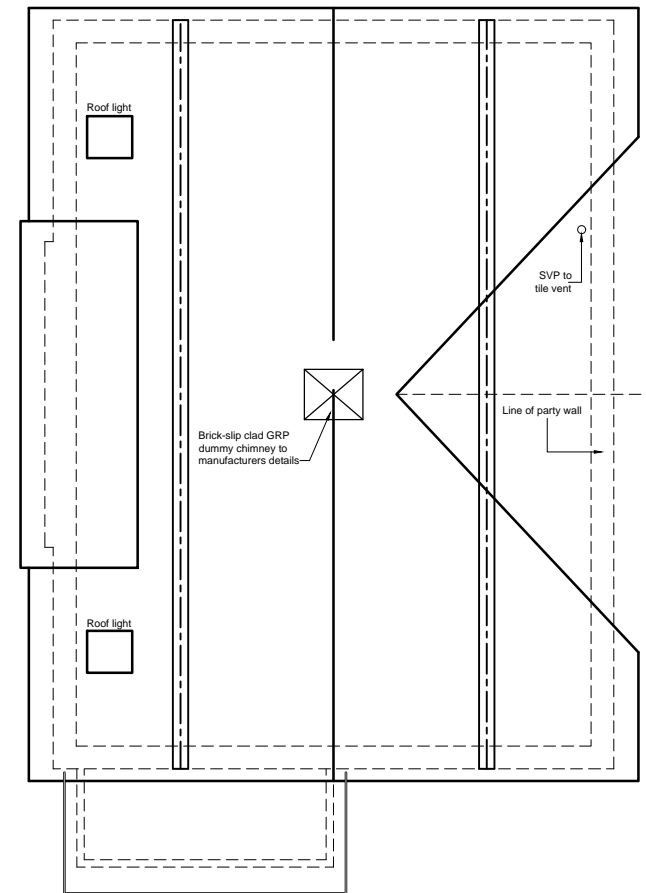
Housetype	<b>GUAR</b>	Variation	<b>A</b>	PLOT No. As Drawn -15,19,23 Handed - 22
Bedrooms	<b>3</b>	Persons	<b>6</b>	
Sq. ft finish	<b>114.78</b>	Sq. m finish	<b>1236</b>	



Ground Floor Plan



First Floor Plan



Roof Plan

NOTES

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REV	DESCRIPTION	DATE	AUTH	CHK'D
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scale 1:100



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PROJECT

Retirement Villages

Standard House Types

Reduced Area

DRAWING

Gaurds (Variation A)

Ground, and First floor plans  
 and Roof scape

SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	03/06/16	AM	VJ

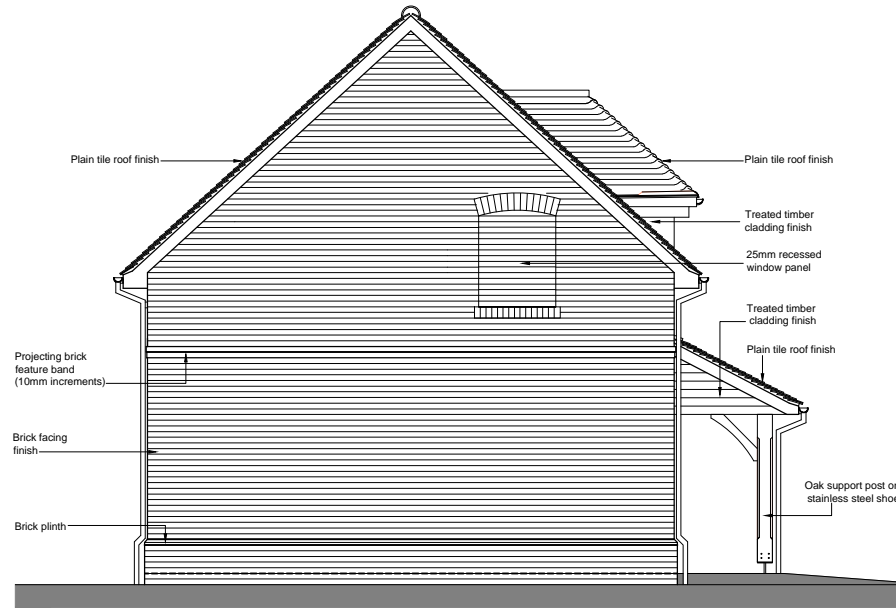
JOB NO.	DRAWING NO.	REV
-	HT.GAUR_A.p	

CLIENT REF.
-

Housetype	<b>GUAR</b>	Variation	<b>A</b>	PLOT No. As Drawn -15,19,23 Handed - 22
Bedrooms	<b>3</b>	Persons	<b>6</b>	
Sq.ft finish	<b>114.78</b>	Sq.m finish	<b>1236</b>	



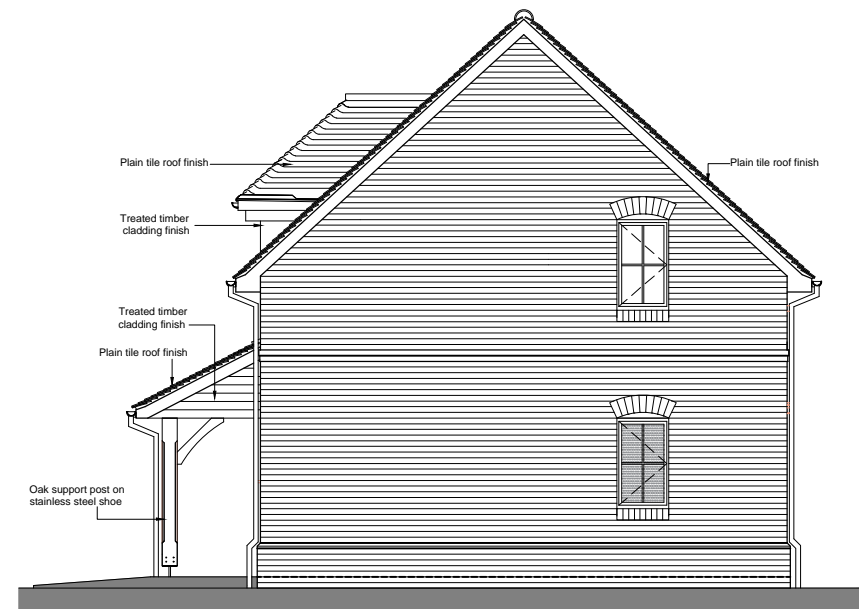
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Example of Extra Care Cottages

NOTES

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REV	DESCRIPTION	DATE	AUTH	CHK'D
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scale 1:100



PLANNING



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PROJECT

Retirement Villages

Standard House Types

Reduced Area

DRAWING

Hurlston (Variation A)

Elevations

Front, Side and Rear

SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	03/06/16	AM	VJ

JOB NO.	DRAWING NO.	REV
-	HT.HURL_A.e	

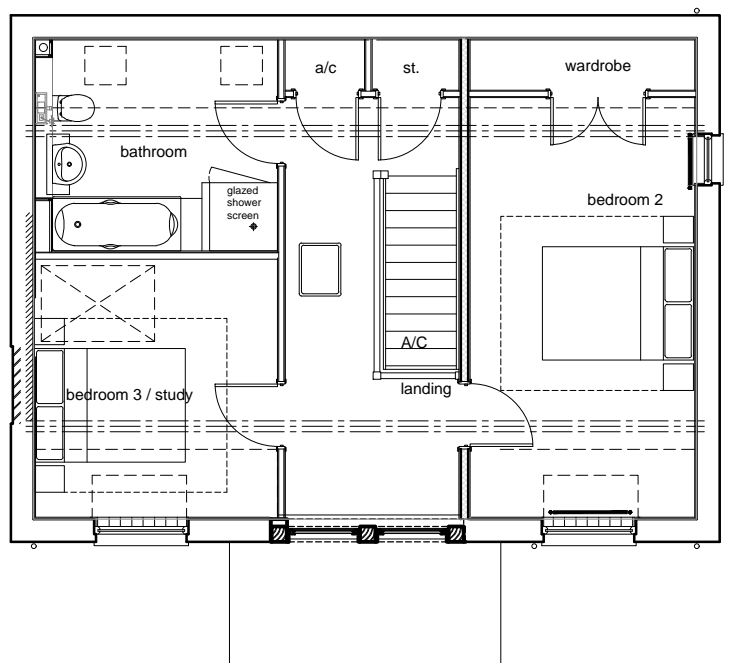
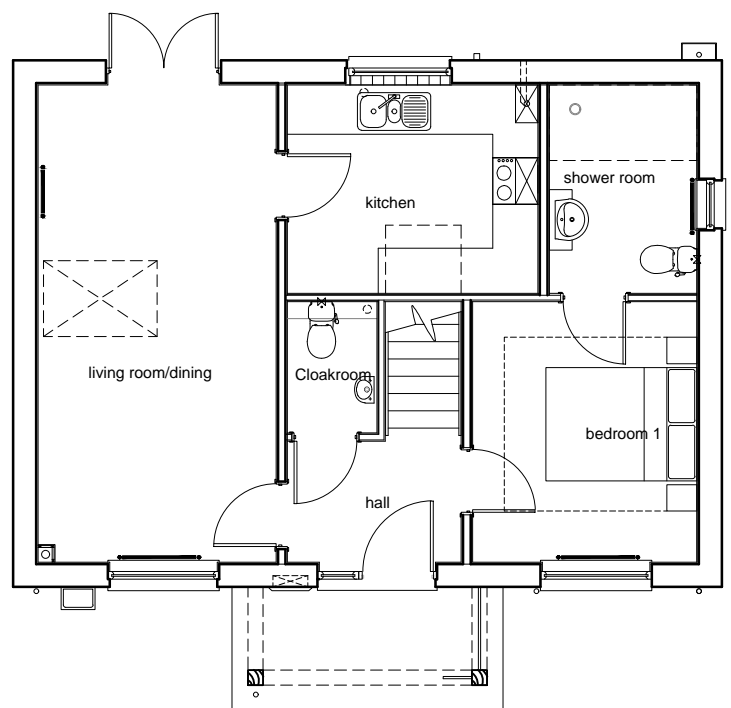
CLIENT REF.
-

Housetype	<b>HURL</b>	Variation	<b>A</b>	PLOT No. As Drawn -03,10,12 Handed - 20,24,18
Bedrooms	<b>3</b>	Persons	<b>6</b>	
Sq. ft finish	<b>110.02</b>	Sq. m finish	<b>1184</b>	



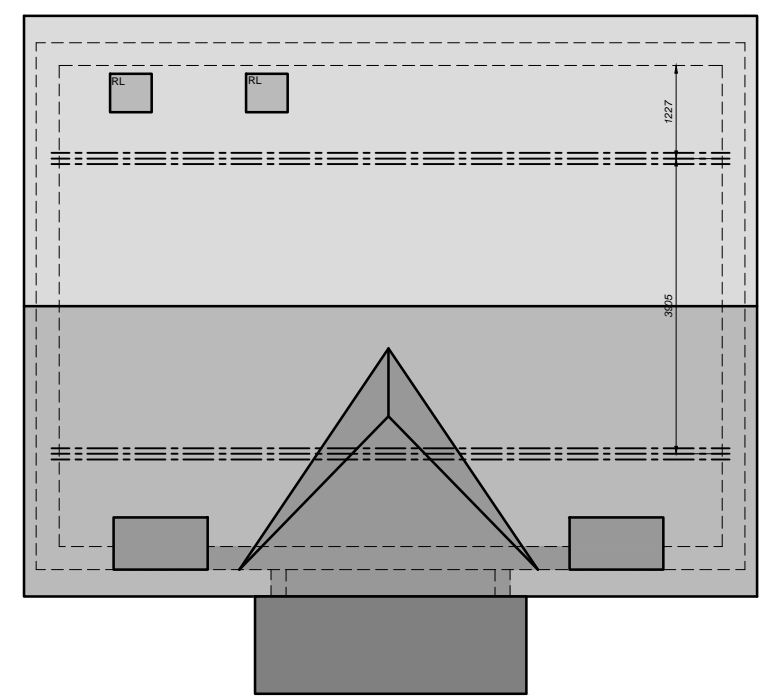
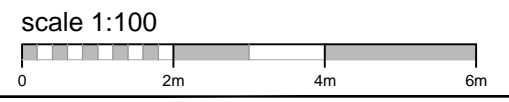
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REV	DESCRIPTION	DATE	AUTH	CHK'D
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Ground Floor Plan

First Floor Plan



Roof Plan

PLANNING



architects  
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PROJECT  
Retirement Villages  
Standard House Types  
Reduced Area

DRAWING  
Hurlston (Variation A)  
Ground, and First floor plans  
and Roof scape

SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	03/06/16	AM	VJ

JOB NO.	DRAWING NO.	REV
-	HT.HURL_A.p	

CLIENT REF.  
-

Housetype	<b>HURL</b>	Variation	<b>A</b>	PLOT No. As Drawn -03,10,12 Handed - 20,24,18
Bedrooms	<b>3</b>	Persons	<b>6</b>	
Sq. ft finish	<b>110.02</b>	Sq. m finish	<b>1184</b>	

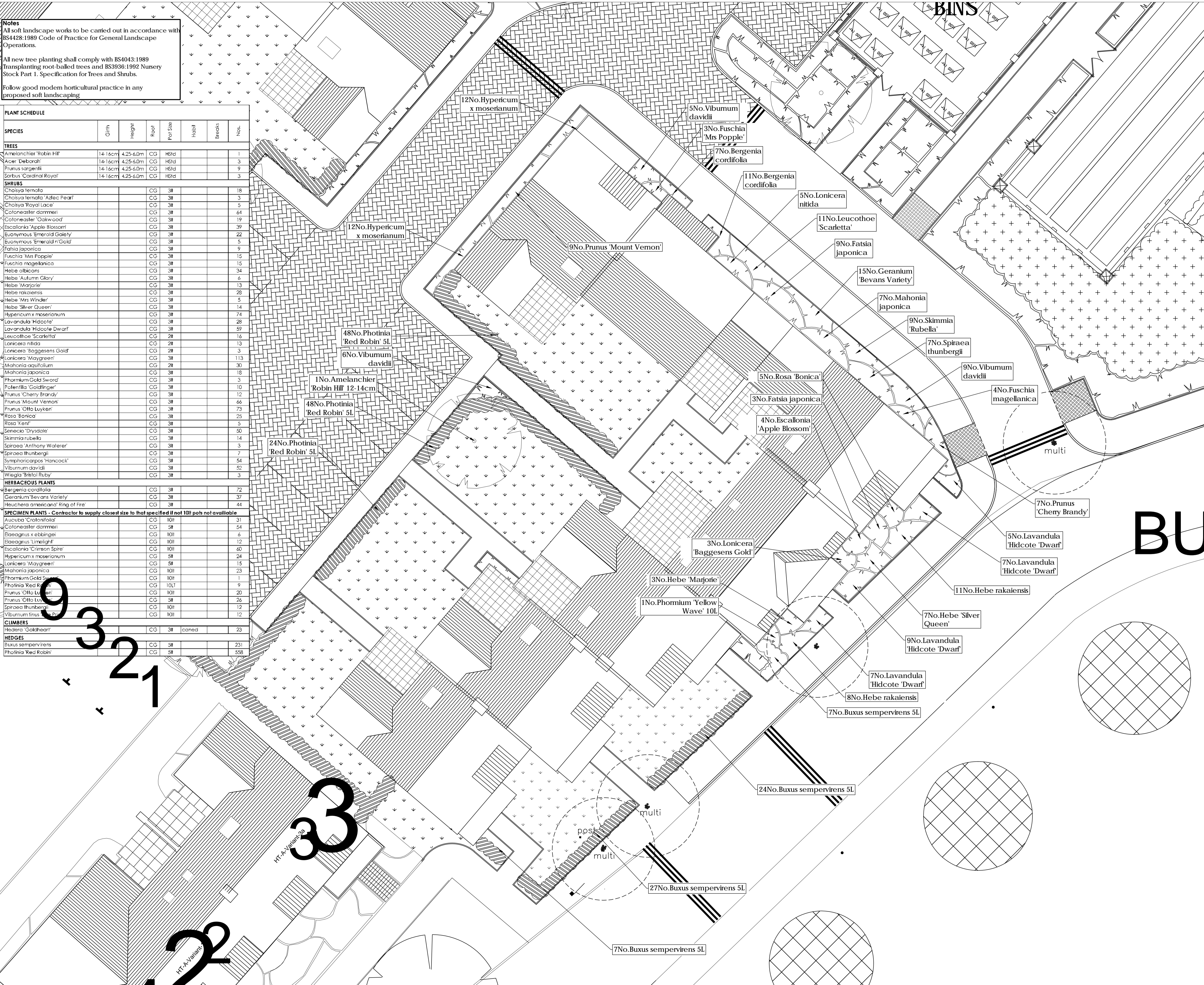


**Notes**  
 All soft landscape works to be carried out in accordance with BS4428:1989 Code of Practice for General Landscape Operations.  
 All new tree planting shall comply with BS4043:1989 Transplanting root-balled trees and BS3936:1992 Nursery Stock Part 1. Specification for Trees and Shrubs.  
 Follow good modern horticultural practice in any proposed soft landscaping

PLANT SCHEDULE									
SPECIES	Q/In	Height	Root	Post Size	Habit	Breaks	Nos.		
<b>TREES</b>									
Amelanchier 'Robin Hill'	14-16cm	4.25-6.0m	CG	HStd			1		
Acer 'Deborah'	14-16cm	4.25-6.0m	CG	HStd			3		
Prunus sargentii	14-16cm	4.25-6.0m	CG	HStd			9		
Sorbus 'Cardinal Royal'	14-16cm	4.25-6.0m	CG	HStd			3		
<b>SHRUBS</b>									
Choiya ternata			CG	3M			18		
Choiya ternata 'Aztec Pearl'			CG	3M			3		
Choiya 'Royal Lace'			CG	3M			5		
Coloneaster dammeri			CG	3M			84		
Coloneaster 'Oakwood'			CG	3M			19		
Escallonia 'Apple Blossom'			CG	3M			39		
Eucynodus 'Emerald Gaiety'			CG	3M			22		
Eucynodus 'Emerald n'Gold'			CG	3M			5		
Fatsia japonica			CG	3M			9		
Fuschia 'Mrs Popple'			CG	3M			15		
Fuschia magellanica			CG	3M			15		
Hebe albicans			CG	3M			34		
Hebe 'Autumn Glory'			CG	3M			6		
Hebe 'Marjorie'			CG	3M			13		
Hebe rakaiensis			CG	3M			28		
Hebe 'Mrs Winder'			CG	3M			5		
Hebe 'Silver Queen'			CG	3M			14		
Hypericum x moserianum			CG	3M			74		
Lavandula 'Hidcote'			CG	3M			28		
Lavandula 'Hidcote Dwarf'			CG	3M			59		
Leucothoe 'Scarletta'			CG	2M			16		
Lonicera nitida			CG	2M			13		
Lonicera 'Baggesens Gold'			CG	2M			3		
Lonicera 'Maygreen'			CG	3M			113		
Mahonia aquifolium			CG	2M			30		
Mahonia japonica			CG	3M			18		
Phormium 'Gold Sword'			CG	3M			3		
Palmetta 'Goldfinger'			CG	3M			10		
Prunus 'Cherry Brandy'			CG	3M			12		
Prunus 'Mount Vernon'			CG	3M			66		
Prunus 'Otto Luyken'			CG	3M			73		
Rosa 'Bonica'			CG	3M			25		
Rosa 'Ken'			CG	3M			5		
Senecio 'Drysdale'			CG	3M			50		
Skimmia rubella			CG	3M			14		
Spiraea 'Anthony Waterer'			CG	3M			3		
Spiraea thunbergii			CG	3M			7		
Symphoricarpos 'Hancock'			CG	3M			54		
Viburnum davidii			CG	3M			52		
Wiegia 'Bristol Ruby'			CG	3M			3		
<b>HERBACEOUS PLANTS</b>									
Bergenia cordifolia			CG	3M			72		
Geranium 'Bevans Variety'			CG	3M			37		
Heuchera americana 'Ring of Fire'			CG	3M			44		
<b>SPECIMEN PLANTS - Contractor to supply closest size to that specified if not 10L pots not available</b>									
Aucuba 'Crotanifolia'			CG	10L			31		
Coloneaster dammeri			CG	5L			54		
Elaeagnus x ebbingei			CG	10L			6		
Elaeagnus 'Limegold'			CG	10L			12		
Escallonia 'Limeon Spire'			CG	10L			60		
Hypericum x moserianum			CG	5L			24		
Lonicera 'Maygreen'			CG	5L			15		
Mahonia japonica			CG	10L			23		
Phormium 'Gold Sword'			CG	10L			1		
Photinia 'Red Robin'			CG	10L			9		
Prunus 'Otto Luyken'			CG	10L			20		
Prunus 'Otto Luyken'			CG	5L			26		
Spiraea thunbergii			CG	10L			12		
Viburnum tinus 'Prunifolium'			CG	10L			12		
<b>CLIMBERS</b>									
Hedera 'Goldheart'			CG	3M	caned		23		
<b>HEDGES</b>									
Buxus sempervirens			CG	5L			231		
Photinia 'Red Robin'			CG	5L			558		

9  
3  
2  
1

HTA-Variant 3  
HTA-Variant 2



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**KEY & NOTATION**

**Proposed Tree Planting (General)**  
 The excavated hole shall be of sufficient size to accommodate the root-ball or container, allowing approximately 500mm clearance. Before planting the sides of the pit shall be broken up and the base dug over to a depth of 150mm to improve drainage. The tree will be planted to the same depth as it was in the nursery. Backfill will be firmed in around the rootball to prevent any air pockets. The pit shall be backfilled with a 2% mix of good quality topsoil and an non peat based compost. 140gms of Enmag granular slow-release fertiliser shall be incorporated to the fill mixture.

**Trees in soft ground**  
 Trees shall be double staked and fixed to horizontal crossbar using rubber strapping, with rubber block positioned between the tree and cross bar. Stakes shall be 60mm diameter treated softwood, driven firmly into ground either side, and not through the rootball, with tree central between the stakes. The above ground height of the stake should be a minimum of a third of the stem high. All trees to receive perforated watering pipes surrounding root ball.

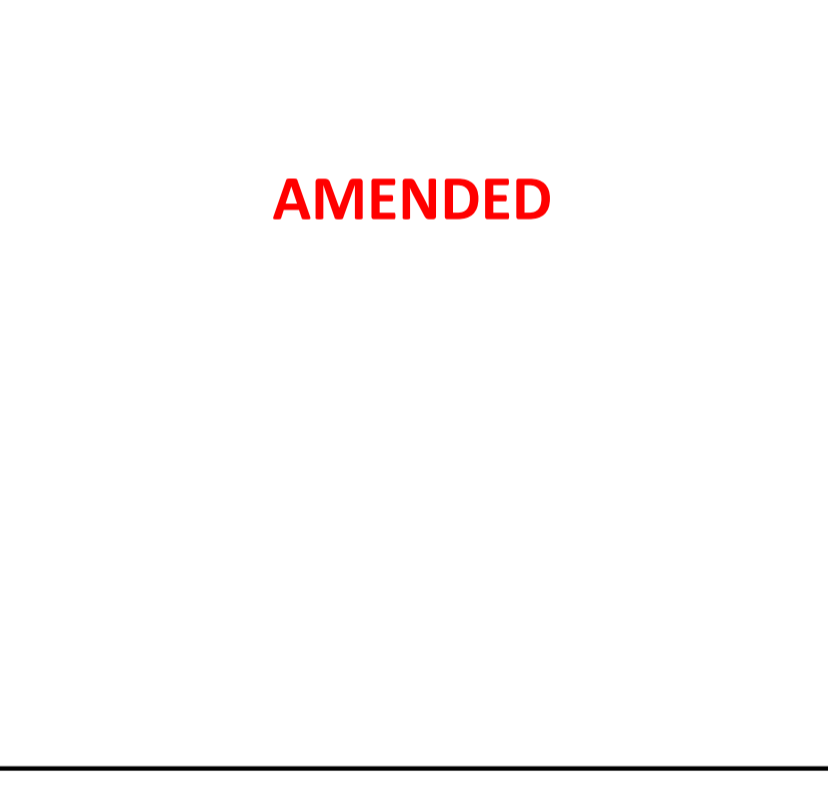
**Tree Aftercare**  
 Any necessary formative pruning will be carried out and where appropriate woodchip/bark mulch applied to a depth of 75mm, and to at least the edge of the planting pit. A properly planned maintenance programme should be kept up until successful establishment of the trees. This may include watering when necessary, checking of the support systems, weed control and further mulching.

**Proposed Areas of Shrub Planting**  
 Shrub areas to have minimum 450mm depth of good quality imported cultivated topsoil, free from bricks, large stones and other rubbish. Mycoforce Transplanter shall be spread around the roots of each plant during planting at a rate specified by the supplier. Tel: English Woodlands Burrow Nursery 01435 862992. All shrub areas shall have 75mm depth Melcourt Ornamental Bark Mulch, (or similar approved).

**Grass Turf**  
 To be good quality treated meadow turf, laid in staggered rows with joints butted up. Prepare 150mm clean topsoil free of builders rubbish and other objects over 15mm in size.

**Ornamental Hedge**  
 Refer to shrub planting specification above. Ensure all plants are bushy to provide joined up length of hedge. Trim all hedges to 600mm at planting to promote new growth.

**Trees to be removed**



Scale: 1:100

0	1m	10m
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A	1. Plant Schedule amended	cjn	20.02.17
<b>Revisions</b>		<b>Dwn.</b>	<b>Date</b>

Project  
 Lime Tree Retirement  
 Village Phase 4D

Retirement VILLAGES  
 Carefree Living

Drawing  
 Landscape Proposals Plots 1 to 6 & 14

Status  
 For Planning, Tender & Construction

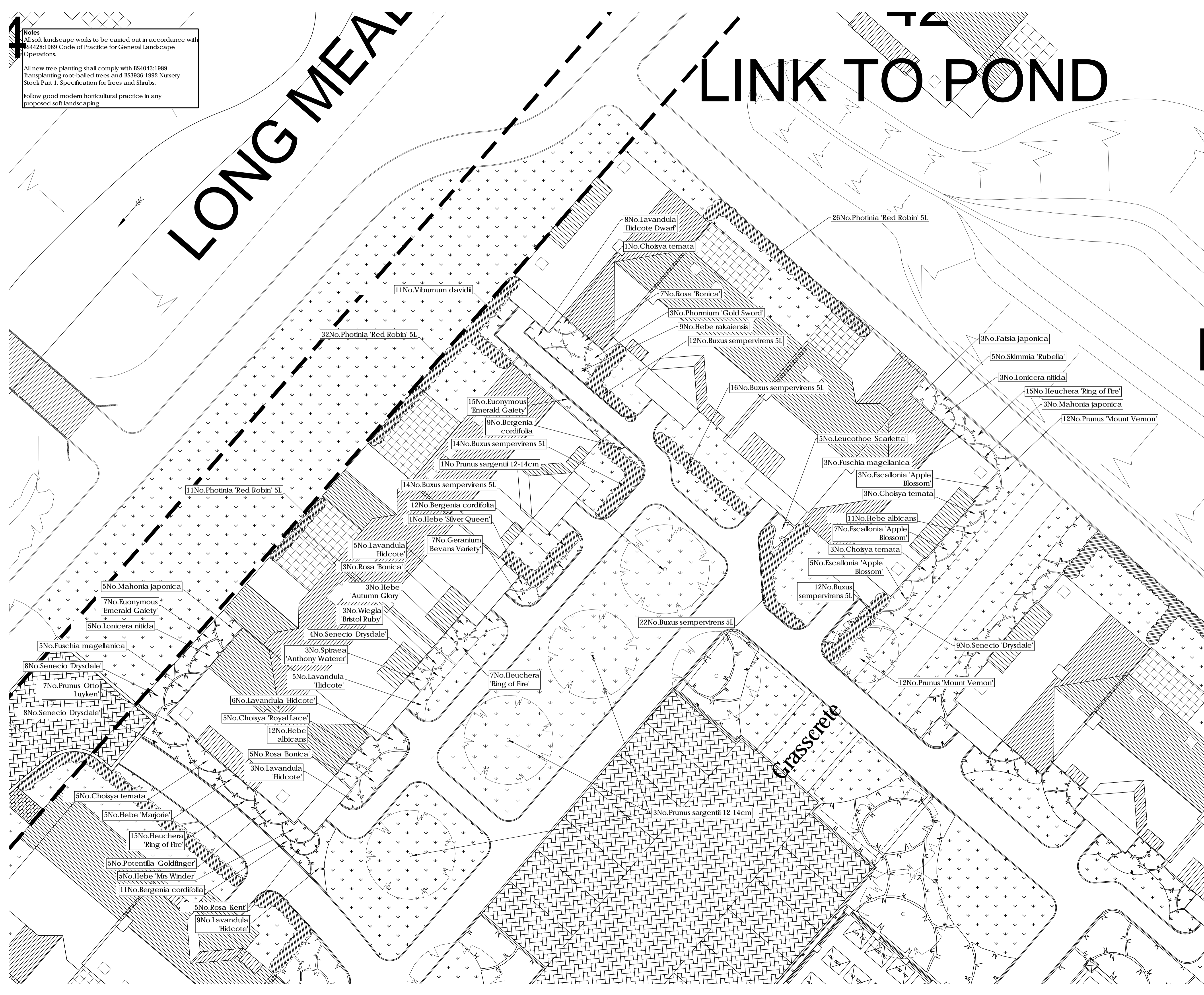
Date 23.09.2016	Drawn cjn
Dwg. No. 16.1264.001	Checked cjn
Revision A	Checked cjn



**Notes**  
 All soft landscape works to be carried out in accordance with BS4428:1989 Code of Practice for General Landscape Operations.  
 All new tree planting shall comply with BS4043:1989 Transplanting root-balled trees and BS3936:1992 Nursery Stock Part 1. Specification for Trees and Shrubs.  
 Follow good modern horticultural practice in any proposed soft landscaping

# LINK TO POND

# LONG MEAL



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**KEY & NOTATION**

**Proposed Tree Planting (General)**  
 The excavated hole shall be of sufficient size to accommodate the root-ball or container, allowing approximately 500mm clearance. Before planting the sides of the pit shall be broken up and the base dug over to a depth of 150mm to improve drainage. The tree will be planted to the same depth as it was in the nursery. Backfill will be firmed in around the rootball to prevent any air pockets. The pit shall be backfilled with a 2% mix of good quality topsoil and a non peat based compost. 140gms of Enmag granular slow-release fertiliser shall be incorporated to the fill mixture.

**Trees in soft ground**  
 Trees shall be double staked and fixed to horizontal crossbar using rubber strapping, with rubber block positioned between the tree and cross bar. Stakes shall be 60mm diameter treated softwood, driven firmly into ground either side, and not through the rootball, with tree central between the stakes. The above ground height of the stake should be a minimum of a third of the stem high. All trees to receive perforated watering pipes surrounding root ball.

**Tree Aftercare**  
 Any necessary formative pruning will be carried out and where appropriate woodchip/bark mulch applied to a depth of 75mm, and to at least the edge of the planting pit. A properly planned maintenance programme should be kept up until successful establishment of the trees. This may include watering when necessary, checking of the support systems, weed control and further mulching.

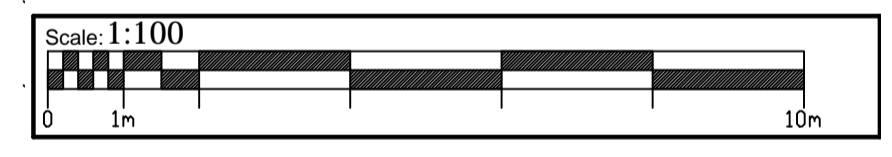
**Proposed Areas of Shrub Planting**  
 Shrub areas to have minimum 450mm depth of good quality imported cultivated topsoil, free from bricks, large stones and other rubbish. MycorForce Transplanter shall be spread around the roots of each plant during planting at a rate specified by the supplier. Tel: English Woodlands Burrow Nursery 01435 862992. All shrub areas shall have 75mm depth Melcourt Ornamental Bark Mulch, (or similar approved).

**Grass Turf**  
 To be good quality treated meadow turf, laid in staggered rows with joints butted up. Prepare 150mm clean topsoil free of builders rubbish and other objects over 15mm in size.

**Ornamental Planting**  
 Refer to shrub planting specification above. Ensure all plants are bushy to provide joined up length of hedge. Trim all hedges to 600mm at planting to promote new growth.

AMENDED

See drawing 16.1264.001 for Plant Schedule



Revisions	Rev	Description	By	Date
A	1	Cotoneaster horizontals removed	cjn	20.02.17

Project  
 Lime Tree Retirement  
 Village Phase 4D

Retirement VILLAGES  
 Carefree living

Drawing Landscape Proposals Plots 16 to 22	
Status For Planning, Tender & Construction	
Date 23.09.2016	Drawn cjn
Dwg. No. 16.1264.003	Revision A
Checked cjn	Checked cjn



**Notes**  
 All soft landscape works to be carried out in accordance with BS4428:1989 Code of Practice for General Landscape Operations.  
 All new tree planting shall comply with BS4043:1989 Transplanting root-balled trees and BS3936:1992 Nursery Stock Part 1. Specification for Trees and Shrubs.  
 Follow good modern horticultural practice in any proposed soft landscaping

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**KEY & NOTATION**

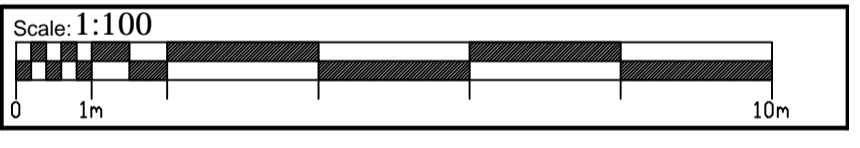
- Proposed Tree Planting (General)**  
 The excavated hole shall be of sufficient size to accommodate the root-ball or container, allowing approximately 500mm clearance. Before planting the sides of the pit shall be broken up and the base dug over to a depth of 150mm to improve drainage. The tree will be planted to the same depth as it was in the nursery. Backfill will be firmed in around the rootball to prevent any air pockets. The pit shall be backfilled with a 2% mix of good quality topsoil and a non-peat based compost. 140gms of Emag granular slow-release fertiliser shall be incorporated to the fill mixture.
- Trees in soft ground**  
 Trees shall be double staked and fixed to horizontal crossbar using rubber strapping, with rubber block positioned between the tree and cross bar. Stakes shall be 60mm diameter treated softwood, driven firmly into ground either side, and not through the rootball, with tree central between the stakes. The above ground height of the stake should be a minimum of a third of the stem high. All trees to receive perforated watering pipes surrounding root ball.
- Tree Aftercare**  
 Any necessary formative pruning will be carried out and where appropriate woodchip/bark mulch applied to a depth of 75mm, and to at least the edge of the planting pit. A properly planned maintenance programme should be kept up until successful establishment of the trees. This may include watering when necessary, checking of the support systems, weed control and further mulching.
- Proposed Areas of Shrub Planting**  
 Shrub areas to have minimum 450mm depth of good quality imported cultivated topsoil, free from bricks, large stones and other rubbish. MycorForce Transplanter shall be spread around the roots of each plant during planting at a rate specified by the supplier. Tel: English Woodlands Burrow Nursery 01435 862992. All shrub areas shall have 75mm depth Melcourt Ornamental Bark Mulch, (or similar approved).
- Grass Turf**  
 To be good quality treated meadow turf, laid in staggered rows with joints butted up. Prepare 150mm clean topsoil free of builders rubbish and other objects over 15mm in size.
- Ornamental Hedges**  
 Refer to shrub planting specification above. Ensure all plants are bushy to provide joined up length of hedge. Trim all hedges to 600mm at planting to promote new growth.
- Proposed Native Structure Planting**  
 To be planted within the specified areas shown below.

Areas for planting shall be treated with a translocated herbicide such as Glyphosate to clear any existing weeds before planting, the ground shall be cultivated to a depth of 100mm. Whips shall be pit planted, with backfill mixed with 70grams of Emag slow release fertiliser. All stock delivered to site shall be of proven British provenance, a certificate shall be provided to the Landscape Architect to prove provenance of plants prior to delivery to site.

All plants shall be planted at approximate 1m centres and in random groups of 5-7 by species. All to have Tubex Netguard, 60cm high and 150mm diameter, dark green colour. To be fixed to firmly anchored softwood timber stakes using 2no. plastic cable ties. Dip all roots into MycorForce Whip Dip prior to planting. Contact supplier for application details, Tel: English Woodlands Burrow Nursery 01435 862992.

**Plant Numbers for Native Planting Areas**

%	Species	NP1	Size	Totals
10	Corylus avellana	10	1+1 80-100 br transplant	10
5	Cornus sanguinea	5	1+1 80-100 br transplant	5
40	Crataegus monogyna	40	1+1 80-100 br transplant	40
30	Ilex aquifolium	30	1+1 80-100 c.g.	30
10	Malus sylvestris	10	1+1 80-100 br transplant	10
5	Viburnum opulus	5	1+1 80-100 br transplant	5



Revisions	Rev	Description	By	Date
A	1.	Existing Laurel Hedge added and planting adjusted to suit.	cjn	20.02.17
	2.	Boundary fence added to existing property and planting adjusted to suit.		

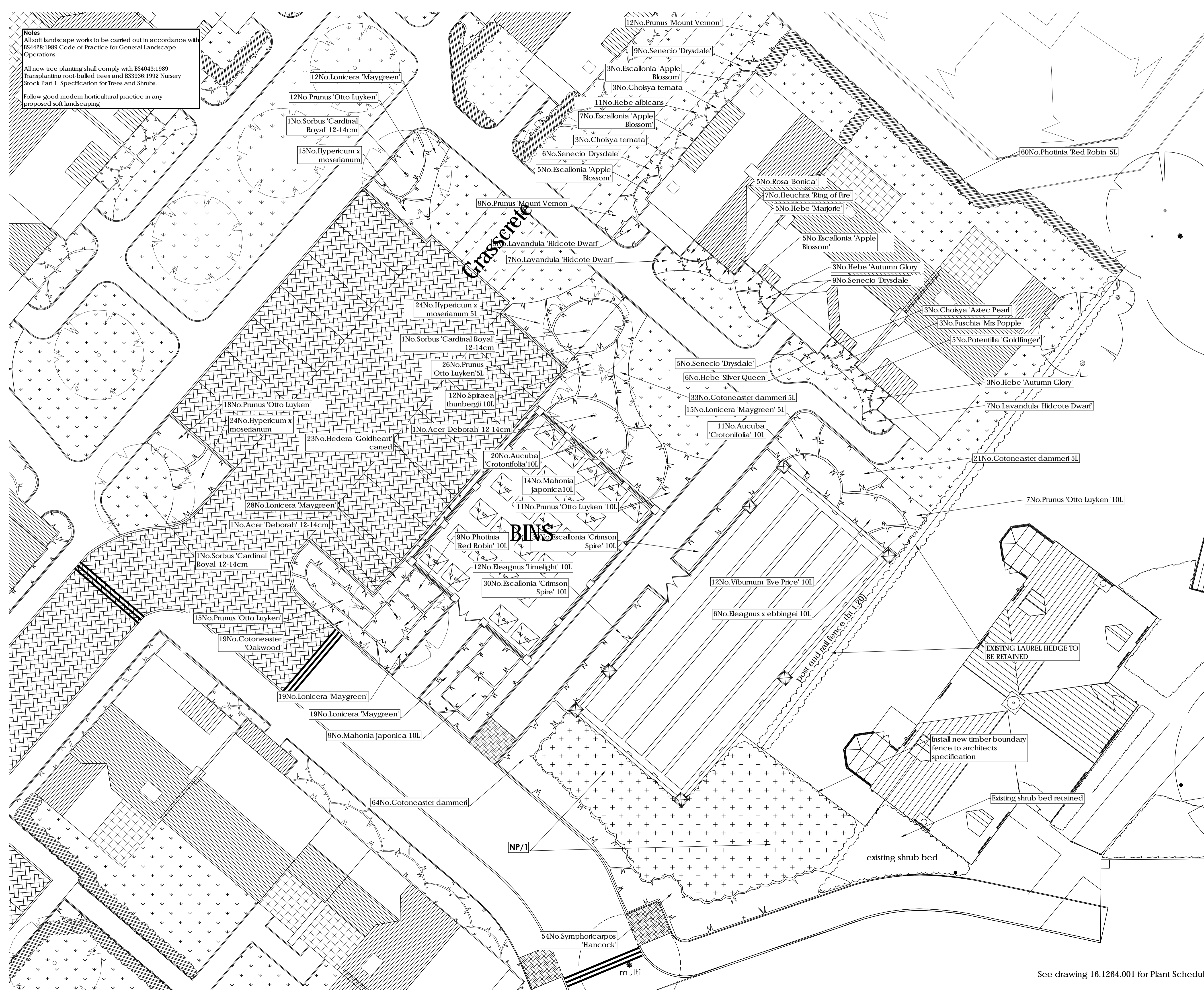
Project  
**Lime Tree Retirement Village Phase 4D**

**AMENDED** Retirement VILLAGES  
*Carefree living*

Drawing  
 Landscape Proposals Plots 23 to 25 & Ancillary

Status  
**For Planning, Tender & Construction**

Date 23.09.2016	Drawn cjn	
Dwg. No. 16.1264.004	Revision A	

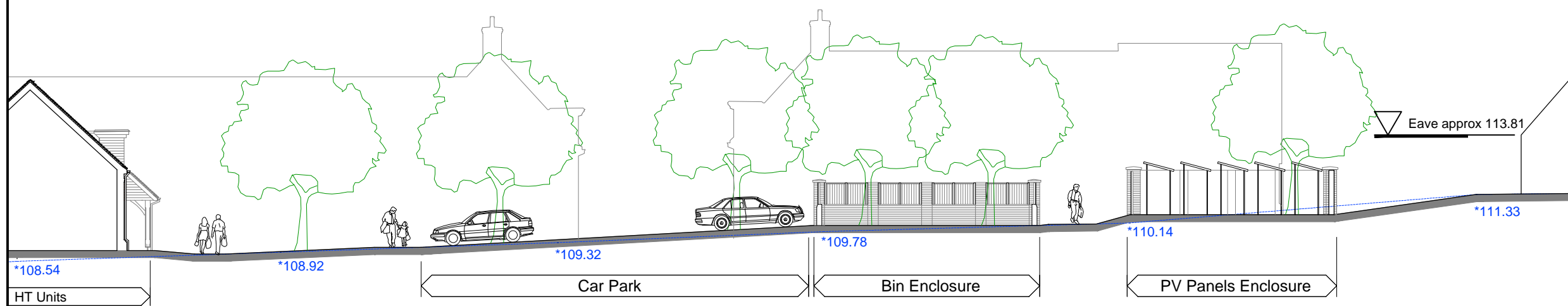


See drawing 16.1264.001 for Plant Schedule



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REV	DESCRIPTION	DATE	AUTH	CHK'D
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PLANNING



architects

Romsey Office

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 t: 01794 367703 f: 01794 367276 www.thrivearchitects.co.uk

PROJECT  
**Lime Tree Village, Phase 4D**  
 Thurlaston drive, Dunchurch  
 for Retirement Villages Development Ltd.

DRAWING  
**Proposed Site Section**

SCALE	DATE	AUTHOR	CHK'D
1:200 @ A3	Jan 2017	PR	VN

JOB NO.	DRAWING NO.	REV
RETI150205	SS.01	A

CLIENT REF.



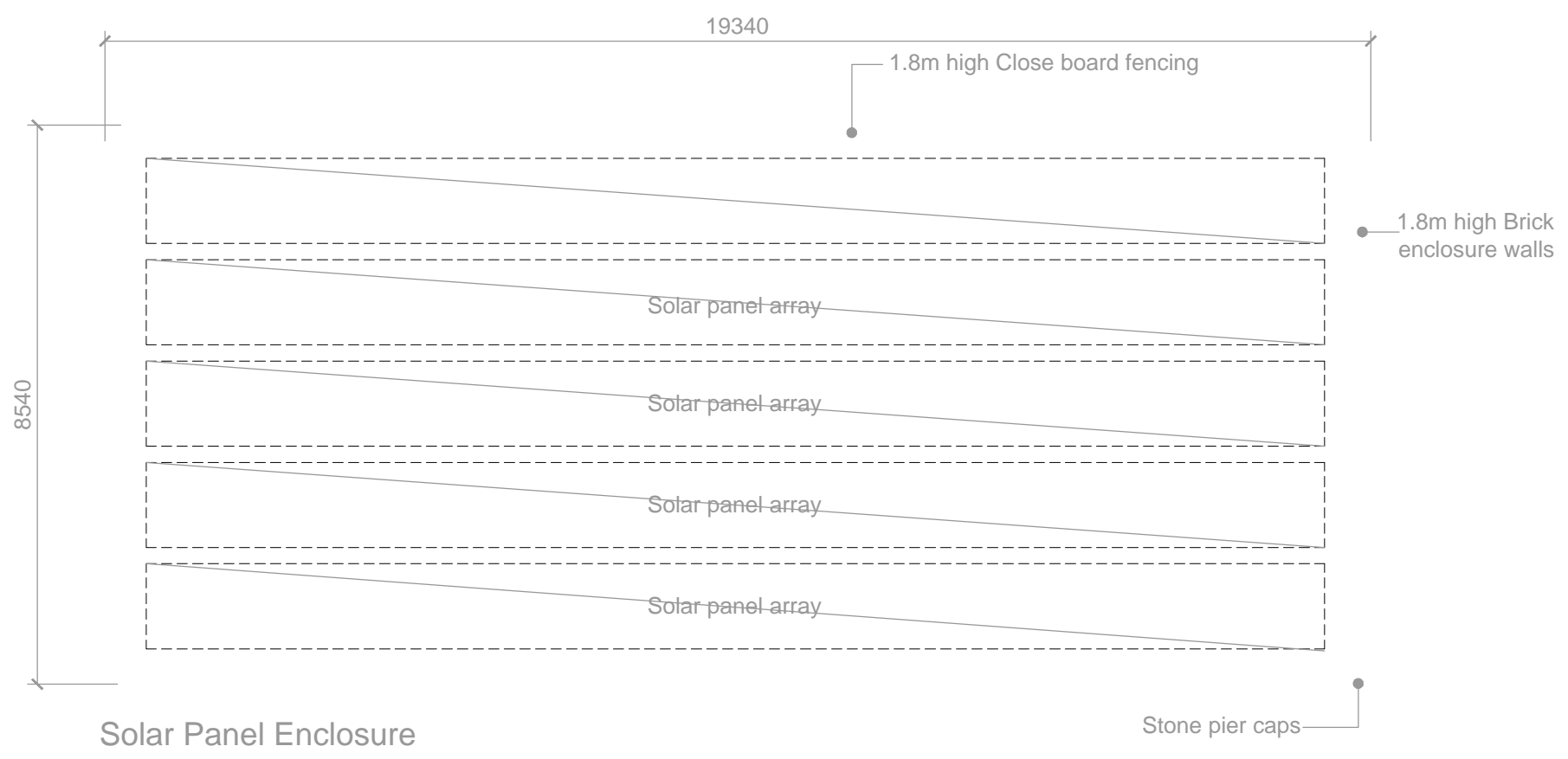
Key plan

\* Existing level

scale 1:200





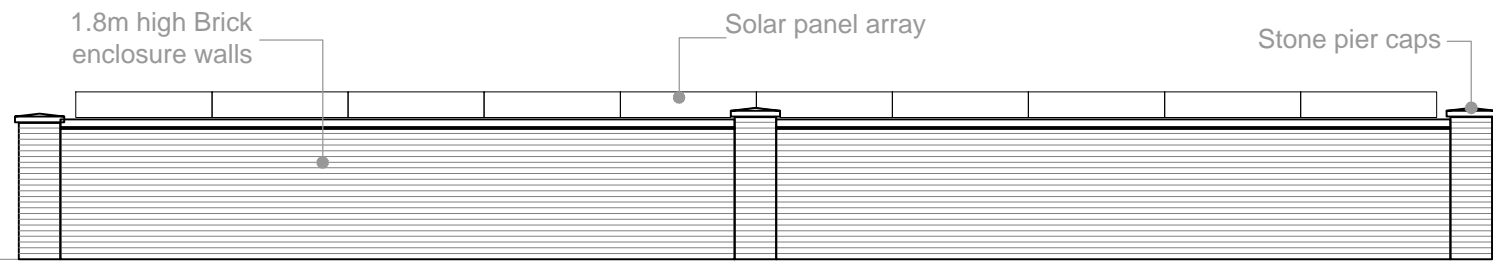


NOTES

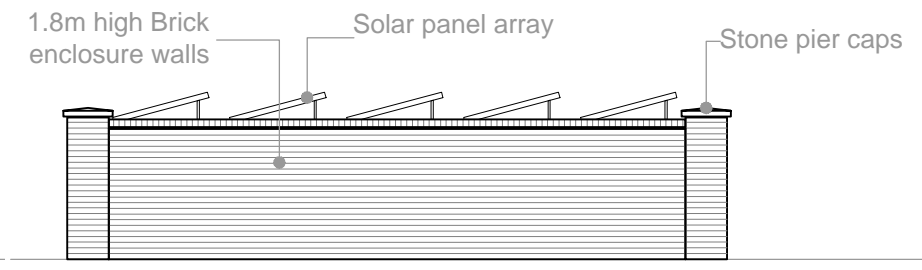
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REV	DESCRIPTION	DATE	AUTH	CHK'D
P1	Planning issue	14/12/16	DS	VN
A	Height of panels removed further to LPA comment.	24/01/17	VN	DS

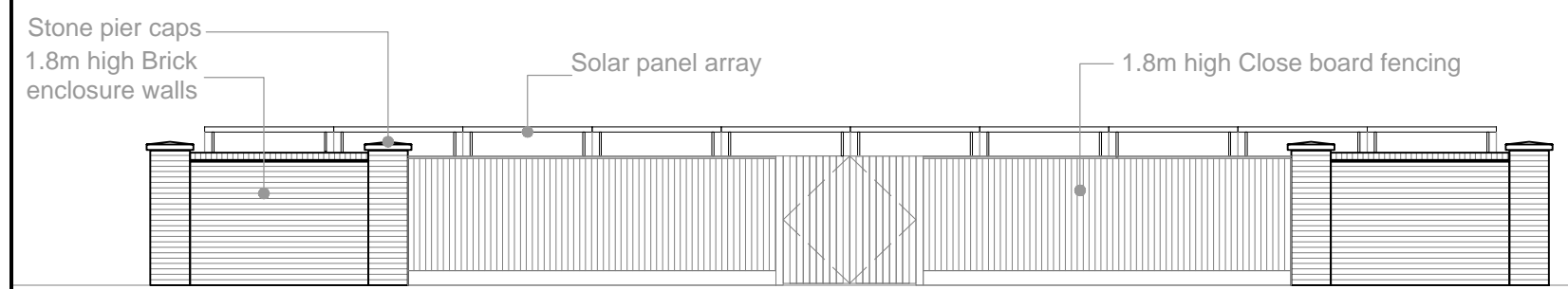
**AMENDED**



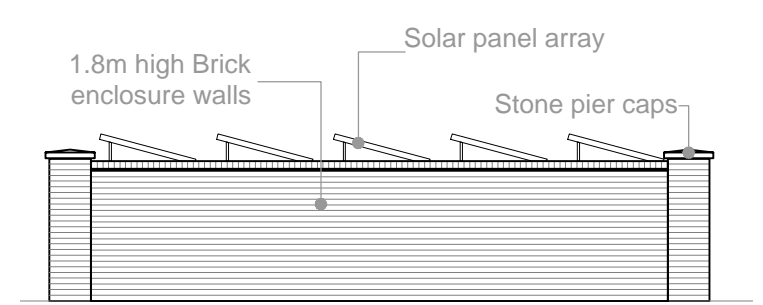
South East Elevation



North East Elevation



North West Elevation



South West Elevation

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PROJECT  
**Lime Tree Village, Phase 4D**  
 Thurlaston Drive, Dunchurch  
 For: Retirement Village Developments Ltd

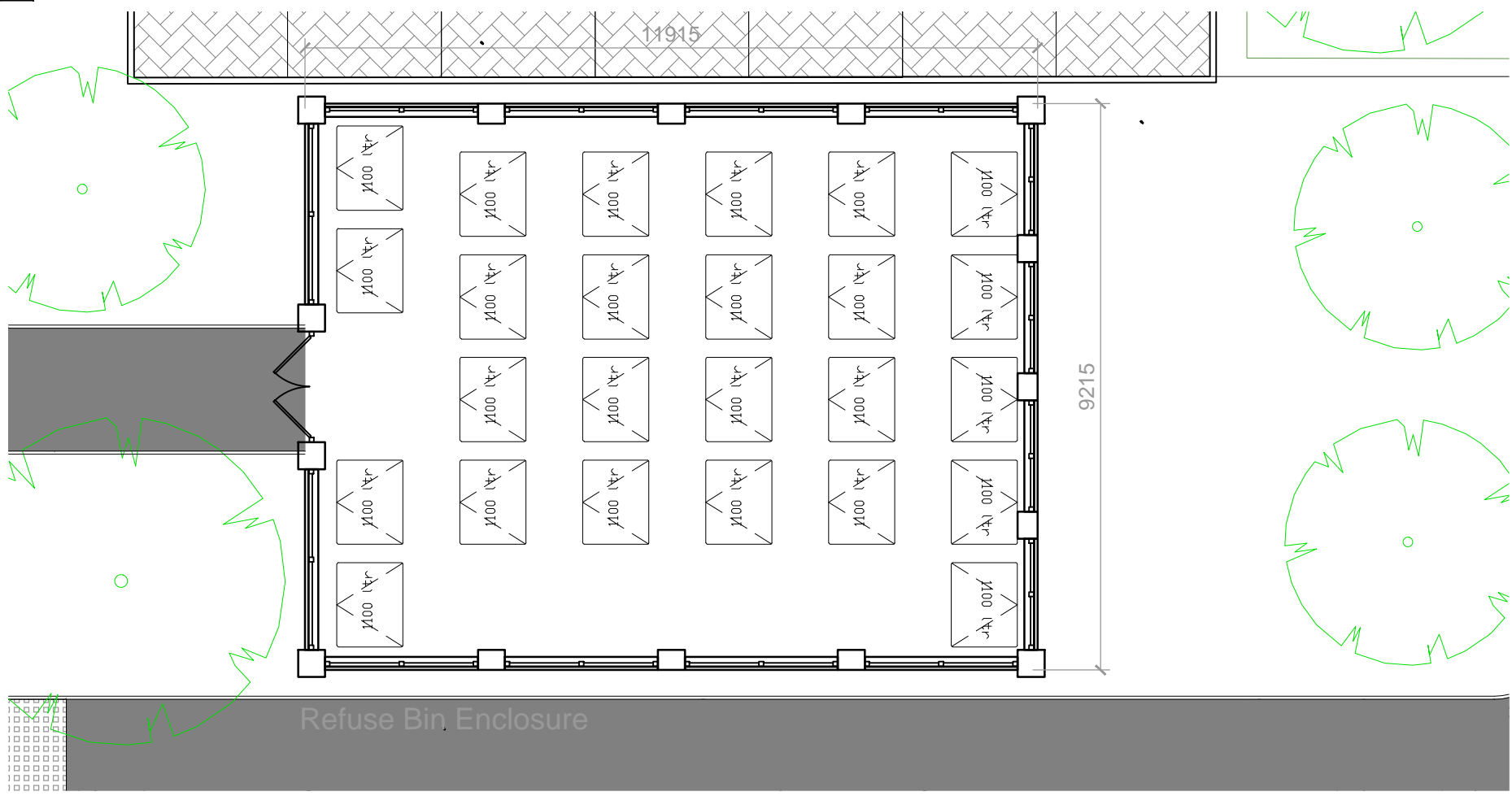
DRAWING  
**Solar Panel Enclosure**  
 Plan and Elevations

SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	14/12/16	DS	

JOB NO.	DRAWING NO.	REV
RETI150205	DET-01	A

CLIENT REF.





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REV	DESCRIPTION	DATE	AUTH	CHK'D
P1	Planning issue	14/12/16	DS	VN



PLANNING



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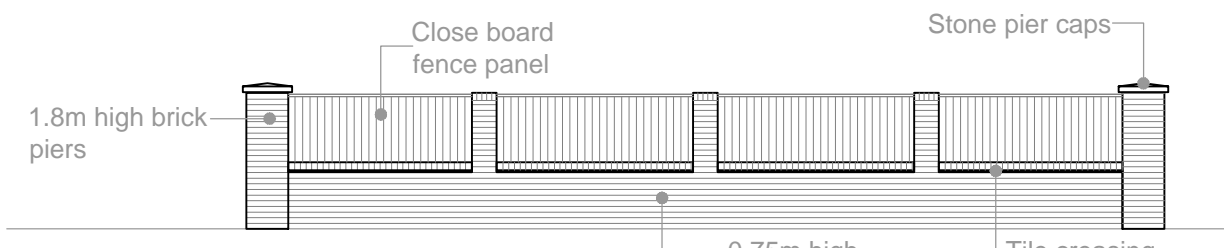
PROJECT  
**Lime Tree Village, Phase 4D**  
 Thurlaston Drive, Dunchurch  
 For: Retirement Village Developments Ltd

DRAWING  
**Refuse Bin Enclosure**  
 Plan and Elevations

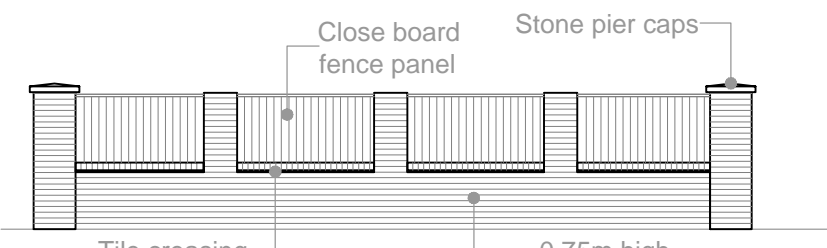
SCALE	DATE	AUTHOR	CHK'D
1:100 @ A3	14/12/16	DS	

JOB NO.	DRAWING NO.	REV
RETI150205	DET-02	P1

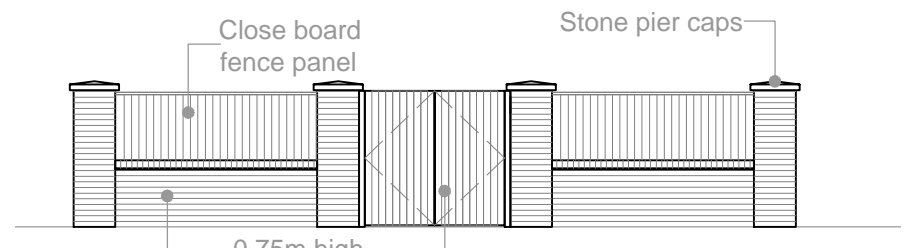
CLIENT REF.



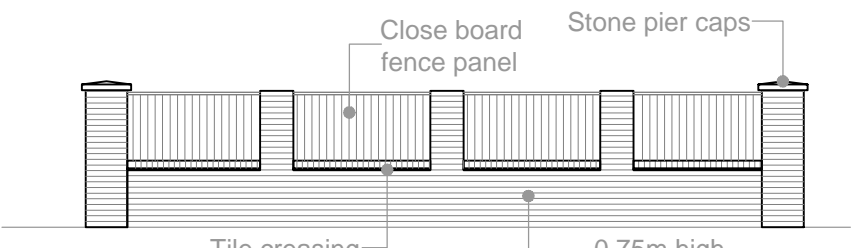
South East Elevation



North East Elevation



South West Elevation



North West Elevation



Bellway Homes currently under construction

Bellway Homes currently under construction

Extra Care Cottages currently under construction

General Site Area

Existing Lime Tree Village

Cawston Ln

Cawston Ln

Thurlaston Dr

Thurlaston Dr

Thurlaston Dr

Marion Ct

Salernorton Ct

Lime Tree Village





New Extra Care Cottages

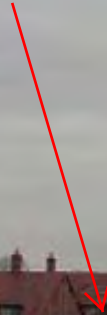
Polo Drive

No. 2  
Thurlaston  
Drive

Site Entrance



Site Location



New build extra care cottages



Cawston Lane

03/01/2017 10:14





Site Area

New build extra care cottages

13/01/2017 14:33



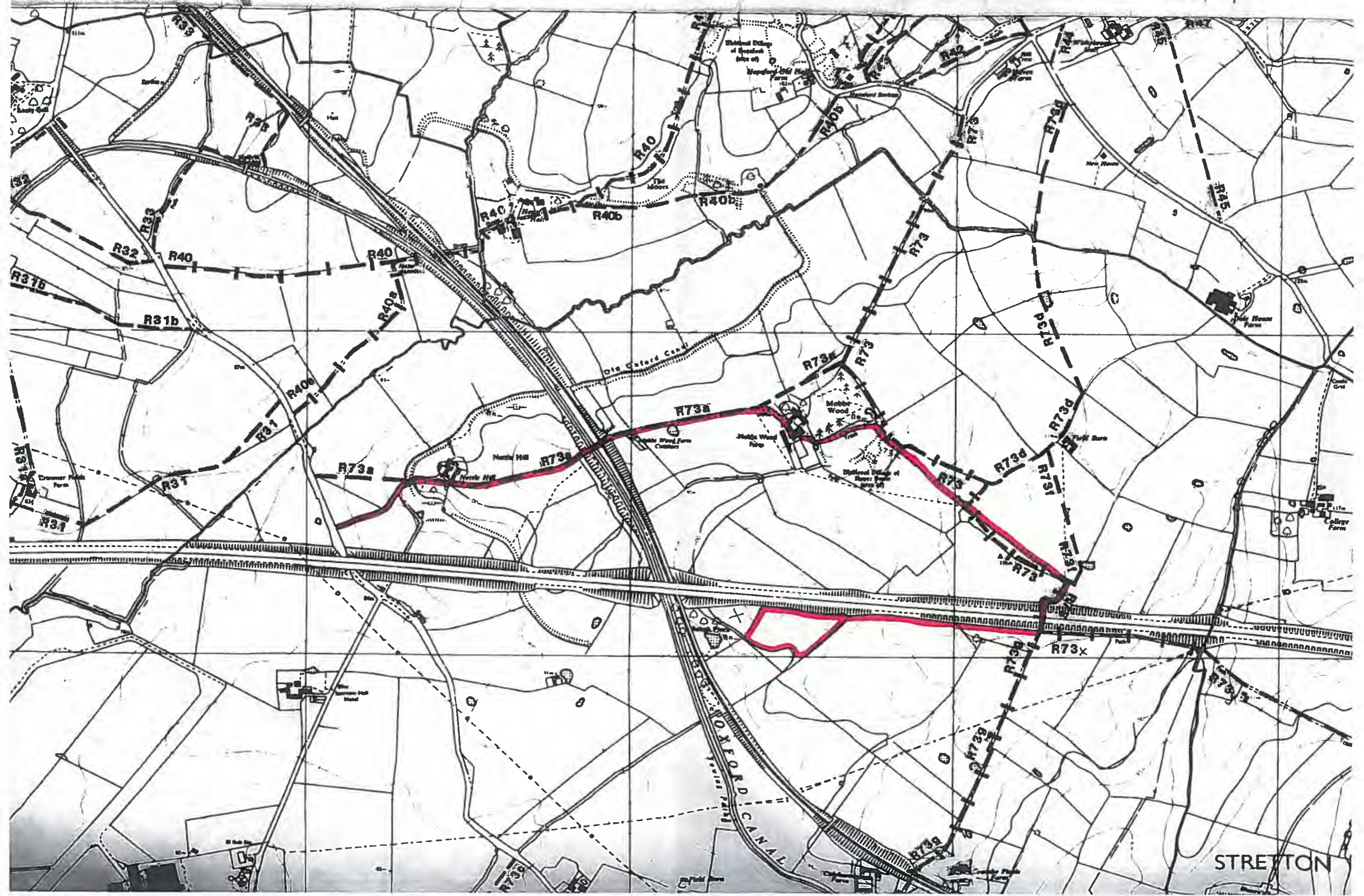


Site Area

View from conservatory of No. 2 Thurlaston Drive

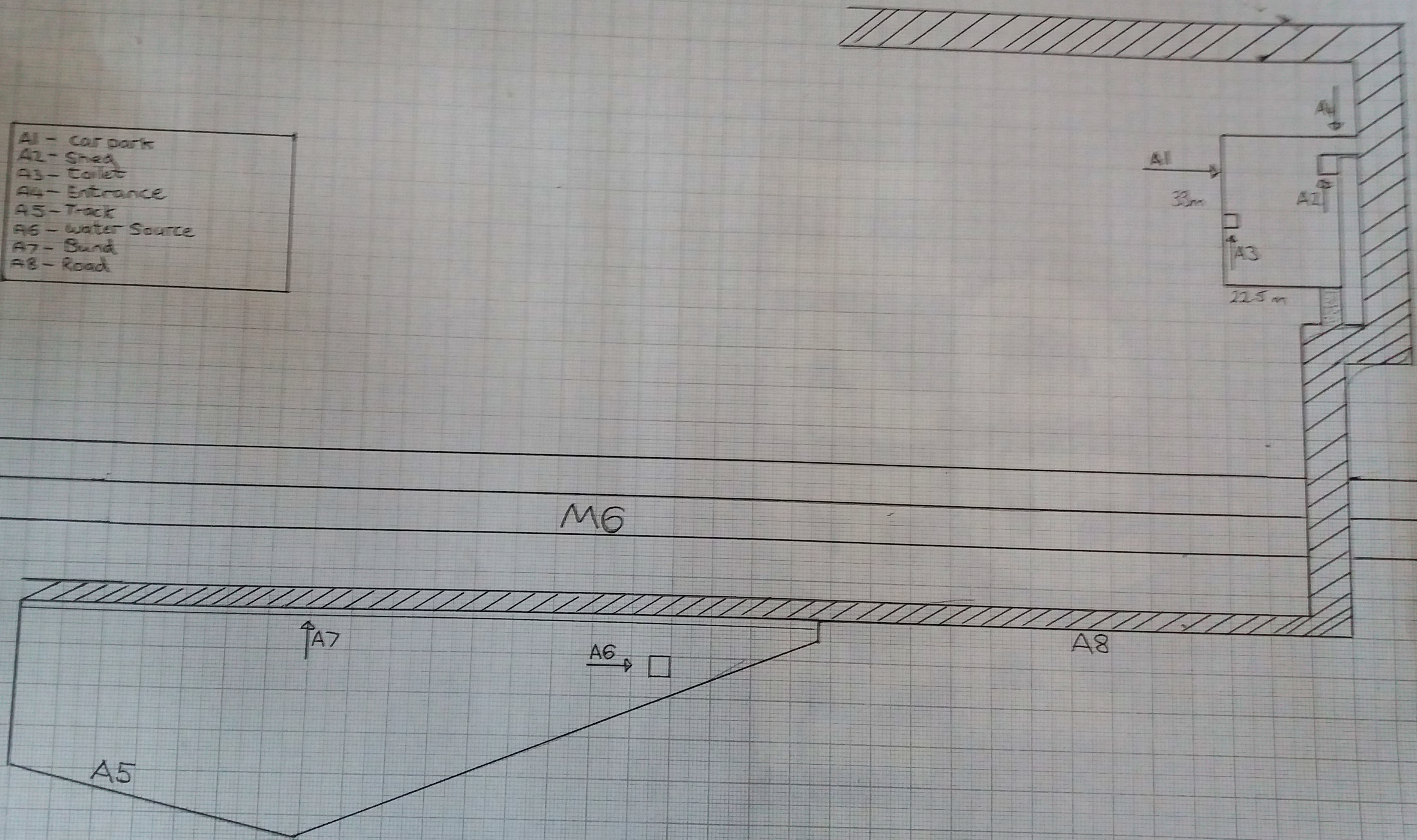


rec 25/5/16

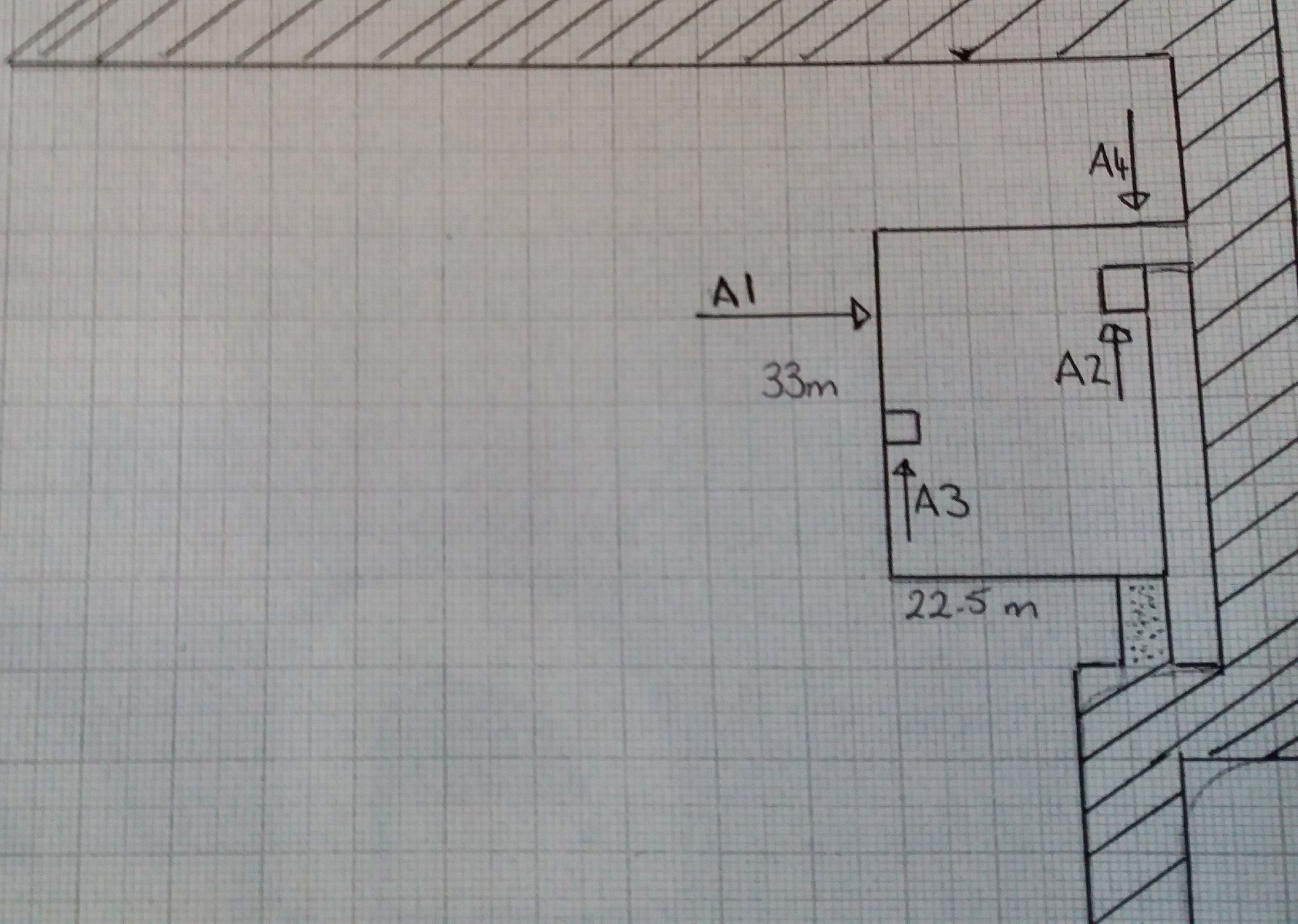




- A1 - Car park
- A2 - Shed
- A3 - Toilet
- A4 - Entrance
- A5 - Track
- A6 - water Source
- A7 - Bund
- A8 - Road

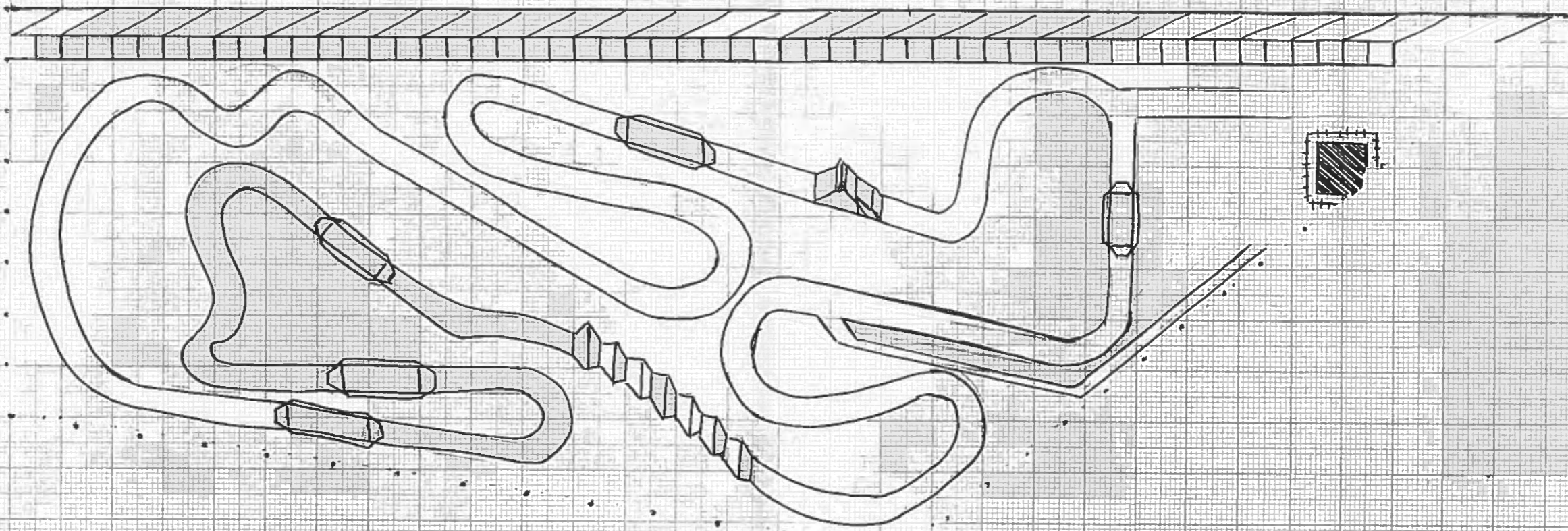












M6



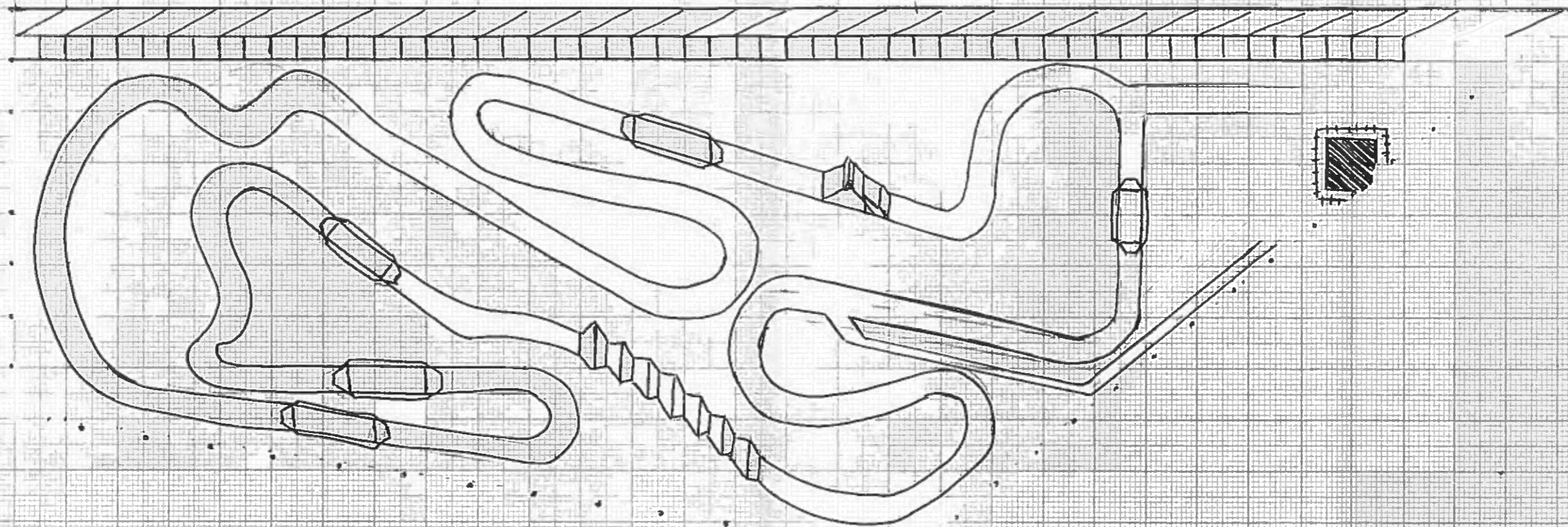
SCALE  
1:500

KEY

	BOUNDARY LINE
	TREES AND BUND 2.8H 3.0W
	ROAD
	WATER SOURCE (FENCED)






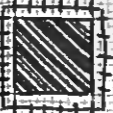
M6



CA

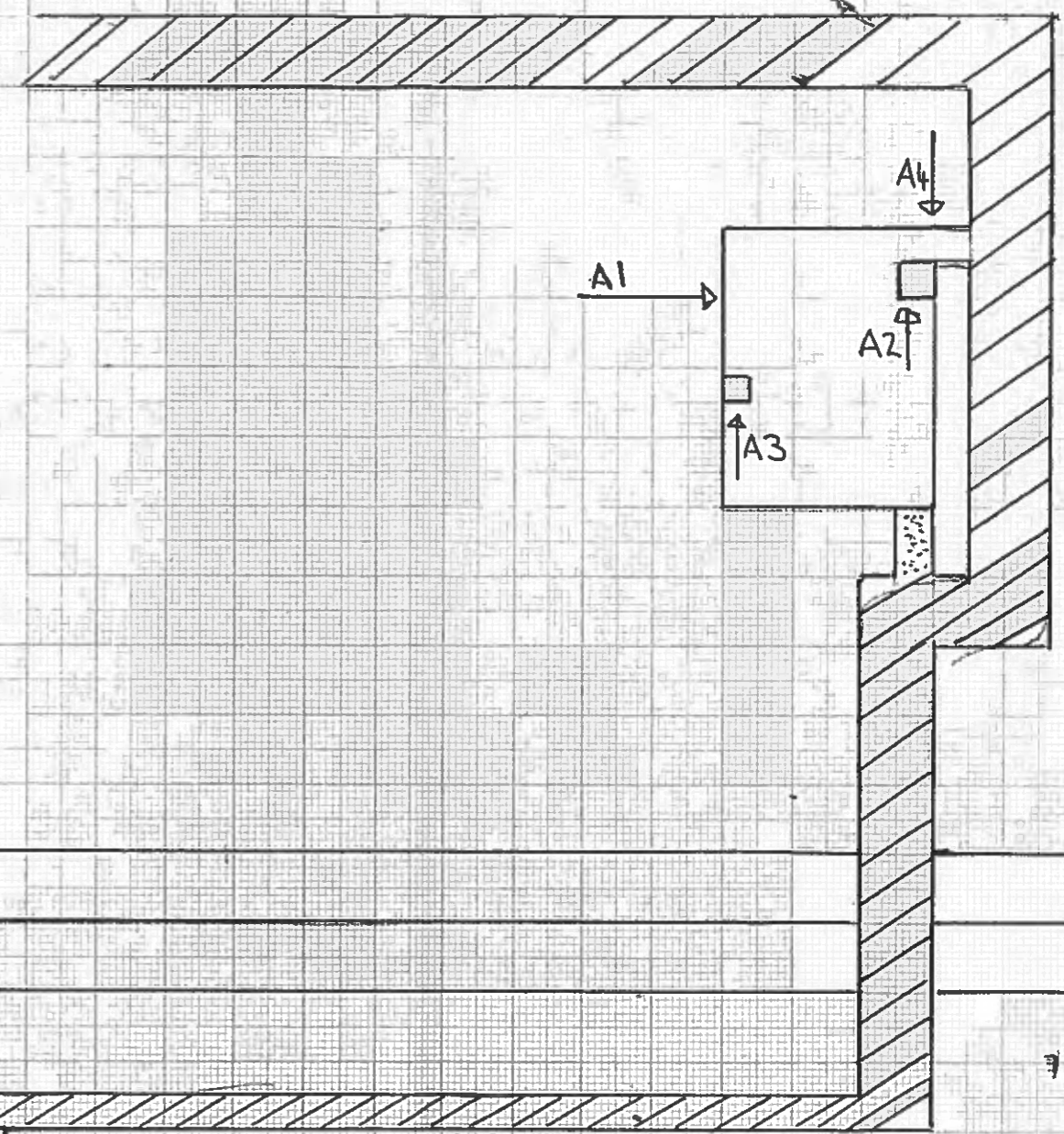
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KEY

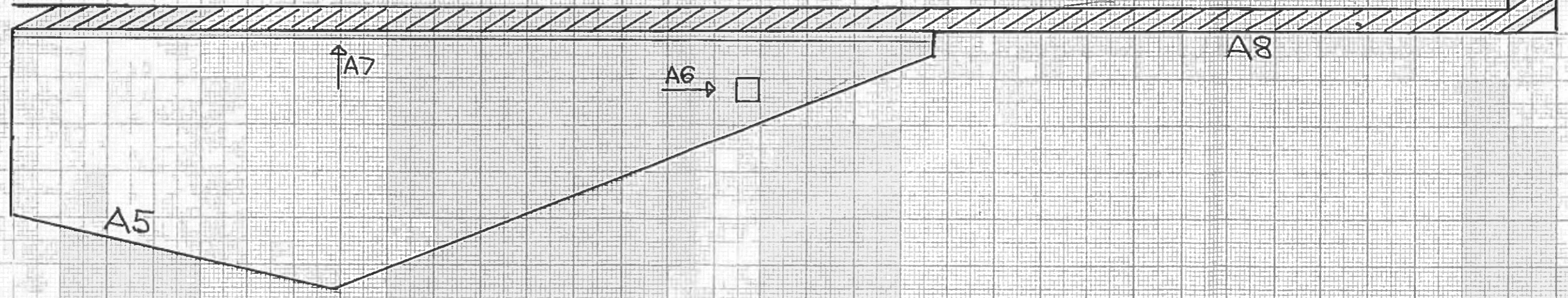
	BOUNDARY LINE
	TREES AND BUND 2.8H 3.0W
	ROAD
	WATER SOURCE (FENCED)



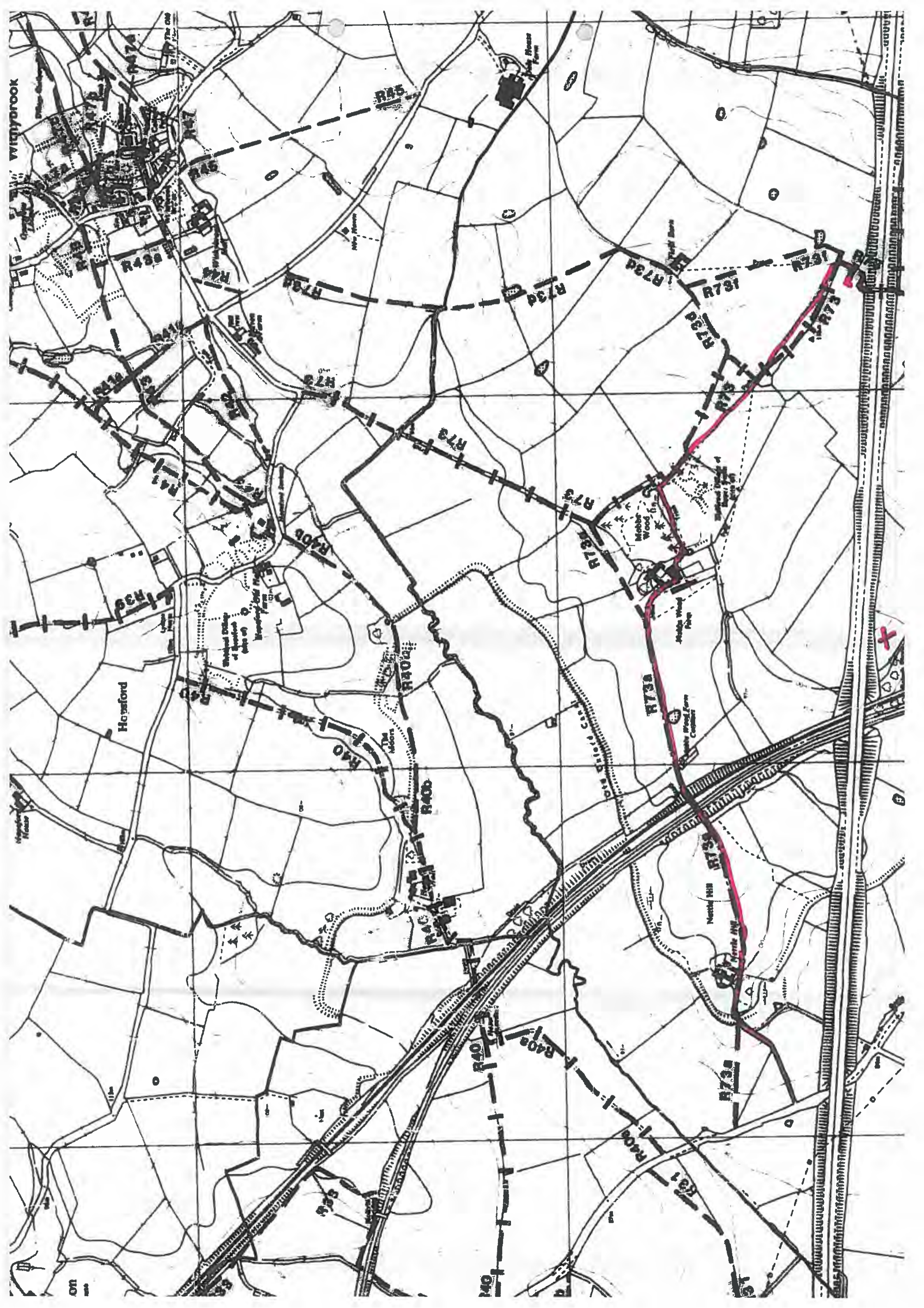
- A1 - car park
- A2 - Shed
- A3 - toilet
- A4 - Entrance
- A5 - Track
- A6 - water Source
- A7 - Bund
- A8 - Road



M6

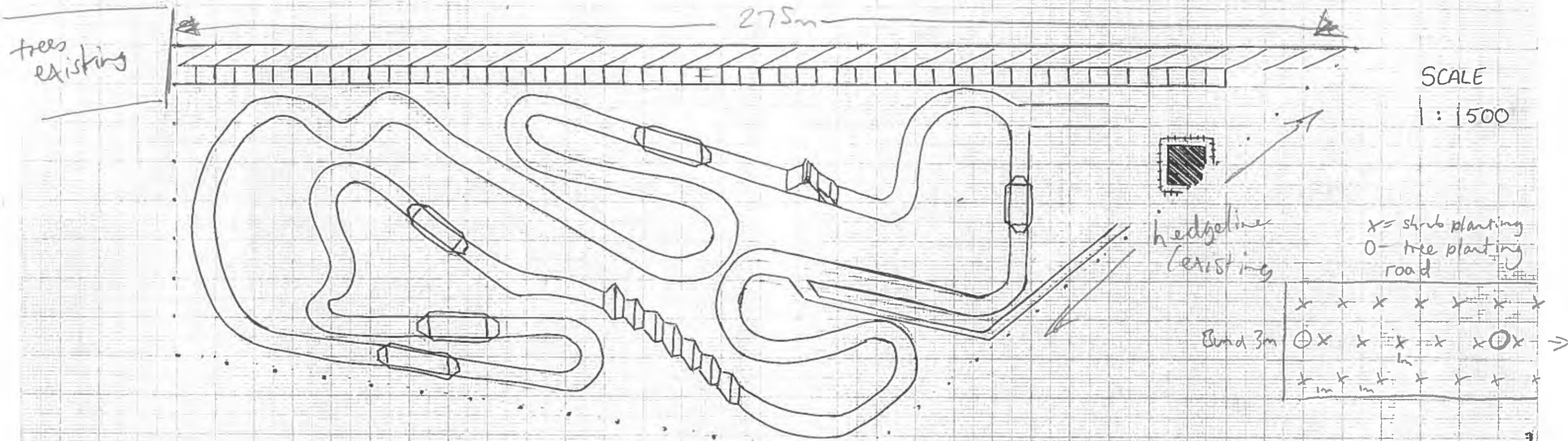








M6

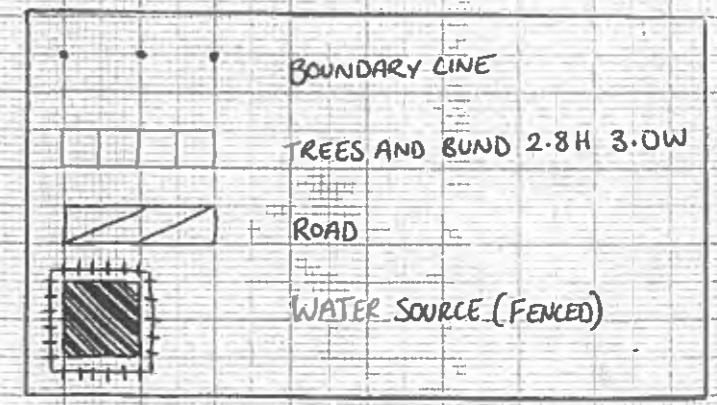


SCALE  
1:500

x = shrub planting  
O = tree planting  
road

Bund 3m

KEY



Should be protected with tree shelters, cultivated land clear of grass & weeds

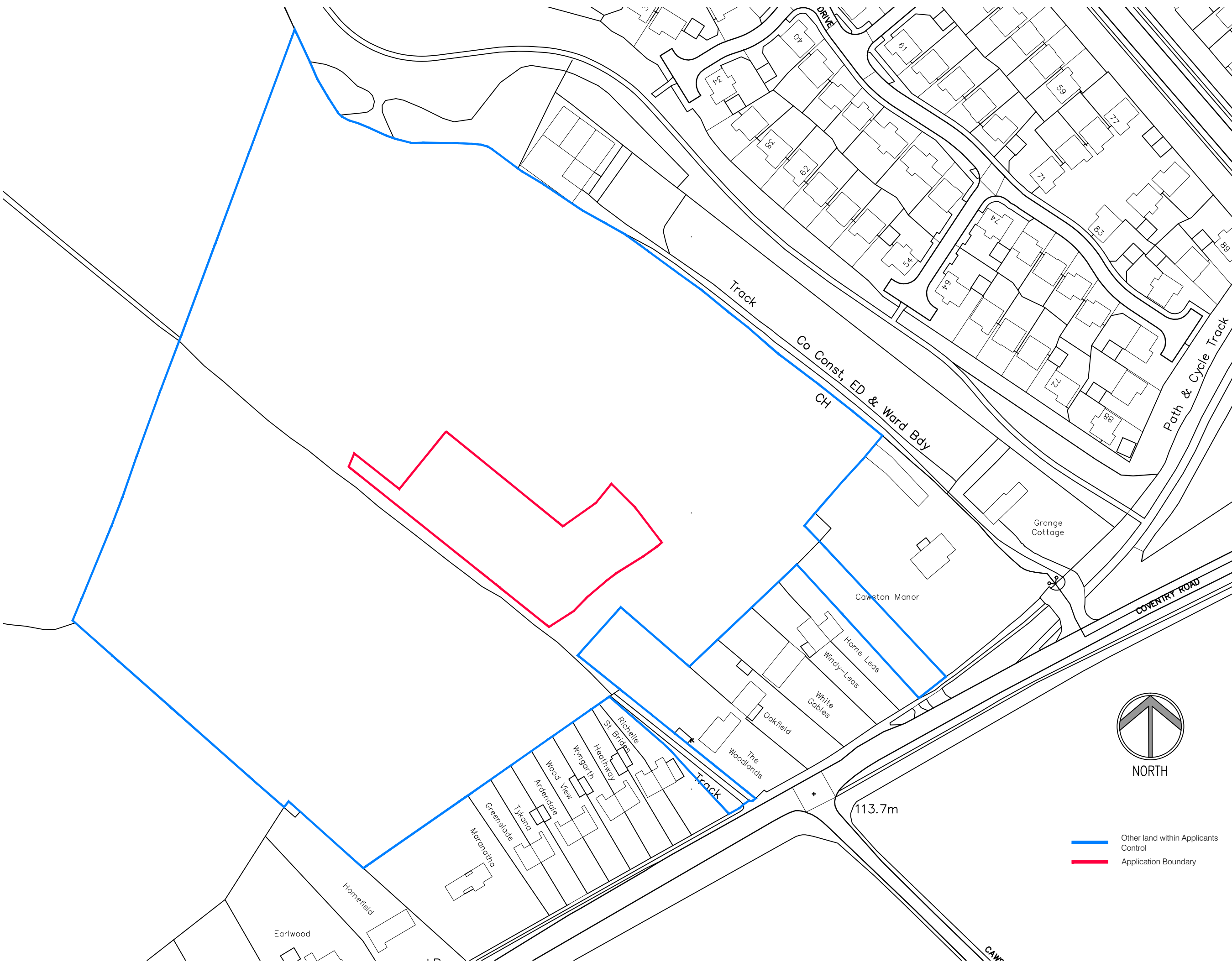
Native shrub mix tripple staggered row 1m apart using 3060 shrubs random mix

10% Acer campestre 83	10% Malus sylvestris 83	
10% Cornus sanguinea 83	5% Prunus spinosa 40	825 in total
15% Corylus avellana 124	10% Rosa canina 83	
15% Crataegus monogyna 125	15% Viburnum opulus 124	
5% Hex aquifolium 40	5% Prunus avium 40	

Standard trees - Populus nigra (Black Poplar) x 20  
 - Populus tremula (Aspen) x 20 random mix 55 in total  
 - Alnus cordata (Alder) x 15

2/3m height 8-10cm circumference planted at 5m intervals on bund staked at tied as appropriate with rabbit guards





- Other land within Applicants Control
- Application Boundary

Revision	Date	Amendment	Initials

Development		<b>WILLIAMS FIELDS</b>	
Location		COVENTRY RD, CAWSTON	
Marketing Name			
Drawing Title		LOCATION PLAN	
Drawing Number		<b>1654/08/02/720</b>	
Revision	Scale @ A3	1:1250	
Drawn By	BA	Date Started	NOV 2016
Checked by		Date	

  
**REDROW HOMES**  
 Redrow Homes Midlands  
Redrow House, Kinsall Green, Winecote, Tamworth, Staffordshire, B77 5PX  
 Tel: 01827 260600 Fax: 01827 262454 Web: www.redrow.co.uk

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 This layout has been designed after due consideration of our Context & Constraints Plan

# WILLIAMS FIELDS, COVENTRY RD, CAWSTON - LOCATION PLAN





Gr Cottas

Cawston Manor

Home Leas  
Windy Leas  
White Gables

Oakfield

The Woodlands

Richelle  
St Brides

Heathway  
Wyngarth

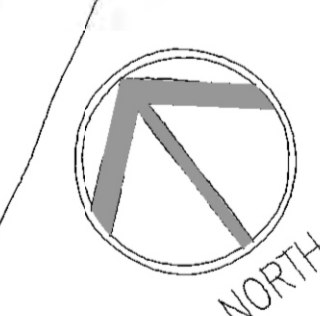
Wood View  
Ardendale

Tykana  
Greenslade

Maranatha

Homefield

- KEY**
- Indicative landscaping
  - Existing trees to be retained
  - Existing trees to be removed
  - Indicates block pavers
  - Indicates grey tegula block paving
  - Other land within Applicants control
  - Application boundary
  - Plot handing
  - Indicates affordable housing
  - 1.8m high screen wall
  - Gable window to be removed - see house pack
  - Indicates additional gable windows and chimney - see house pack
  - Indicates false chimney position



PUBLIC OPEN SPACE -  
For specific details see  
Landscape Management  
(drawing no. 497/00)

To provide pedestrian cycle  
link a small portion of hedgerow  
will be removed and replaced  
with a temporary timber post  
and rail fence.

To provide pedestrian cycle  
link a small portion of hedgerow  
will be removed and replaced  
with a temporary timber post  
and rail fence.

PROPOSED PRIVATE HOUSE MIX 2013				
HOUSE NAME	ABBREVIATION	QUANTITY	FLOOR AREA (sqft)	TOTAL AREA (sqft)
HENLEY	HENL	11	1769	19459
SUNDEDALE	SUND	11	1654	18194
MARLBOROUGH	MARB	13	1906	24779
MARLY	MARL	10	1299	12990
OXFORD	OXFD	11	1301	14311
SHAFTESBURY	SHAF	7	1410	9870
HIGHGATE	HIGS	4	1739	6956
<b>TOTAL</b>		<b>67</b>		<b>104188</b>
AFFORDABLE HOUSE MIX (40%)				
DART	DART	13	905	11765
TAVY	TAVY	28	832	23296
SPR	SP2	4	539	2156
<b>TOTAL</b>		<b>45</b>		<b>37217</b>
<b>GRAND TOTAL</b>		<b>112</b>		<b>143375</b>

Revision	Date	Amendment	By
B	07.12.2016	Plot numbers added to plots 64-70 & 91-94 parking BA	BA
A	05.12.2016	Plots 64-70 & 91-94 re aligned, parking revised and DS block paving added, following IFA comments	BA

Drawing Status  
**PRELIMINARY PLANNING CONSTRUCTION**

Development: **WILLIAMS FIELDS**  
Location: **COVENTRY RD, CAWSTON**  
Marketing Name:  
Drawing Title: **Site Re-Plan**  
Drawing Number: **1654-08-02-701**  
Revision: **B** Scale: **1:500**  
Drawn By: **BA** Date Started: **OCT 2016**  
Checked by: Date:



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# WILLIAMS FIELDS, COVENTRY ROAD, CAWSTON - SITE RE-PLAN

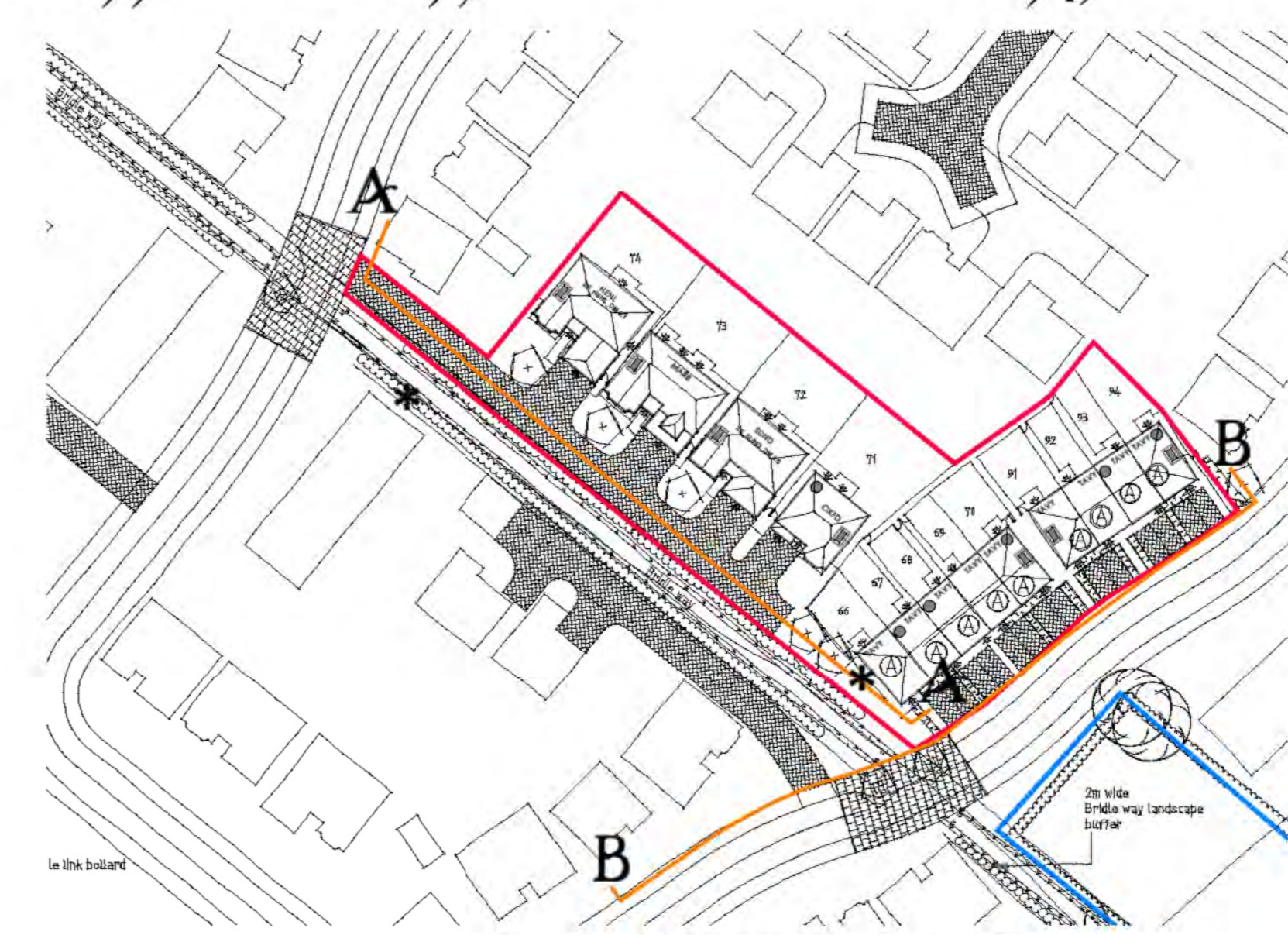




FFL 112.70  
 Plot 75 FFL 112.85  
 Plot 74 FFL 113.00  
 Plot 73 FFL 113.00  
 Plot 72 FFL 113.45  
 Plot 71 FFL 113.45  
 Plot 66 FFL 113.30



Plot 62 FFL 113.10  
 Plot 63 FFL 113.20  
 Plot 66 FFL 113.30  
 Plot 67 FFL 113.30  
 Plot 68 FFL 113.30  
 Plot 69 FFL 113.30  
 Plot 70 FFL 113.30  
 Plot 91 FFL 113.45  
 Plot 92 FFL 113.45  
 Plot 93 FFL 113.45  
 Plot 94 FFL 113.45



A	05.11.2016	Street Scenes amended to follow latest layout	BA
Revision	Date	Amendment	Initials

Drawing Status	PRELIMINARY PLANNING CONSTRUCTION
----------------	---

Development	WILLIAMS FIELDS		
Location	COVENTRY ROAD CAWSTON		
Marketing Name			
Drawing Title	STREET SCENES		
Drawing Number	1654-08-02-712		
Revision	A	Scale @A2	1:200
Drawn By	HD	Date Started	OCT 2016
Checked by		Date	

  
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 HOMES  
**Redrow Homes Midlands**  
Redrow House, Kinsall Green, Wilnecote, Tamworth, Staffordshire, B77 5PX  
 Tel: 01827 260600 Fax: 01827 262454 Web: www.redrow.co.uk

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# WILLIAMS FIELDS, COVENTRY ROAD CAWSTON - STREET SCENES



